#### DRAWING SCHEDULE

A 0000 TITLE PAGE A 0001 BASIX COMMITMENTS A 0002 BASIX COMMITMENTS A 0020 UNIT SCHEDULE A 0021 AFFORDABLE UNIT SCHEDULE

A 1000 SITE ANALYSIS A 1010 SITE PLAN A 1030 MAXIMUM BUILDING HEIGHT 3D A 1050 STREETSCAPE ANALYSIS

A 1100 SURVEY PLAN A 1101 DEMOLITION PLAN

A 1201 BASEMENT PLAN A 1202 GROUND FLOOR PLAN A 1203 LEVEL 01 PLAN A 1204 LEVEL 02 PLAN A 1205 LEVEL 03 PLAN A 1206 LEVEL 04 PLAN A 1207 ROOF PLAN

A 1301 ELEVATIONS A 1302 ELEVATIONS

A 1401 SECTION AA A 1402 SECTION BB

A 2000 GFA CALCULATION A 2010 SOLAR ACCESS DIAGRAM 2D A 2011 SOLAR ACCESS DIAGRAM 3D A 2020 CROSS-VENTILATION DIAGRAM 2D A 2030 LANDSCAPE CALCULATION A 2040 STORAGE DIAGRAM

A 2101 SHADOW DIAGRAM 9AM 22 JUNE A 2102 SHADOW DIAGRAM 12PM 22 JUNE A 2103 SHADOW DIAGRAM 3PM 22 JUNE A 2150 SHADOW DIAGRAM 3D 22 JUNE

A 2201 MATERIAL SCHEDULE A 2202 MATERIAL SCHEDULE

A 3000 3D PERSPECTIVES

A 5000 127 MEMORIAL AVE - DEVELOPMENT CONCEPT PLAN

A 5001 127 MEMORIAL AVE - DEVELOPMENT CONCEPT PLAN

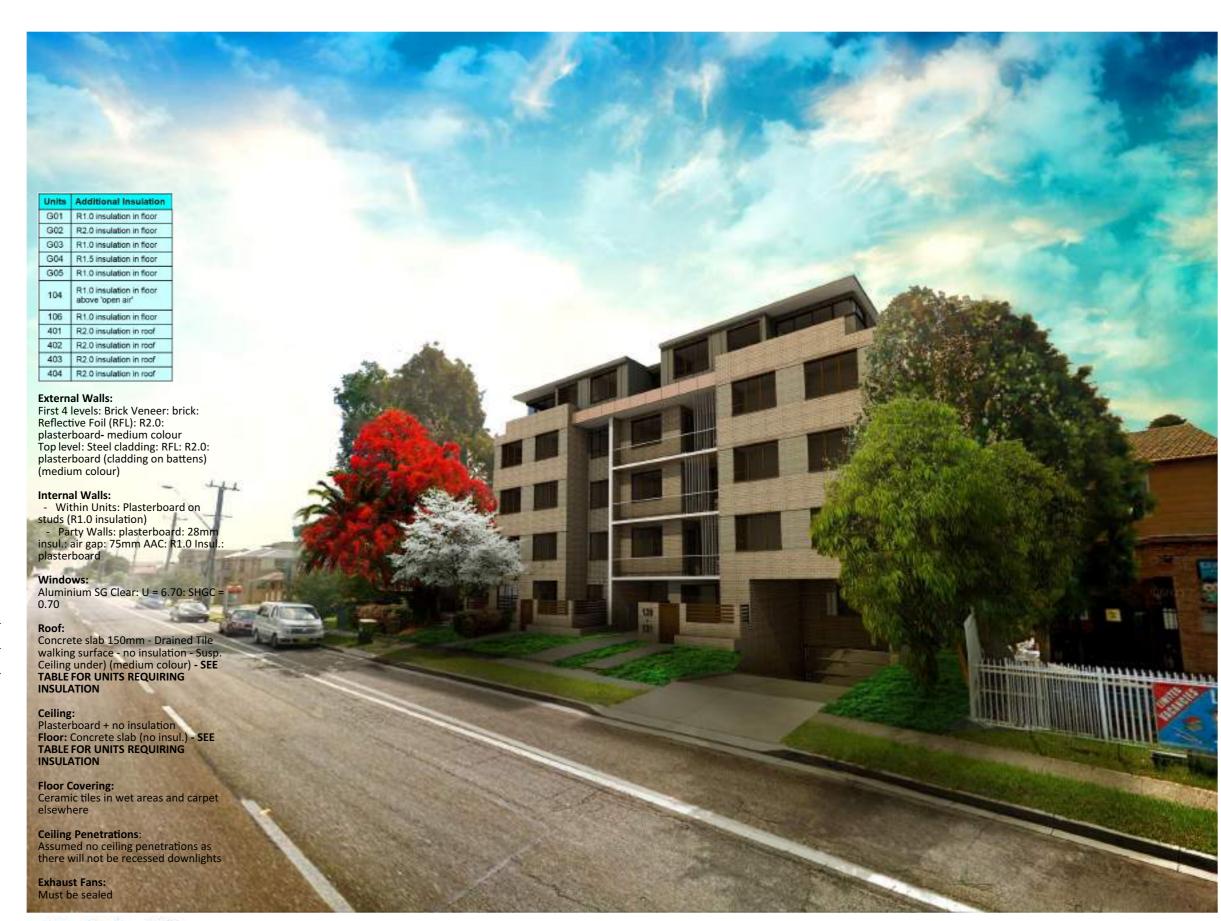
A 5002 127 MEMORIAL AVE - DEVELOPMENT CONCEPT PLAN

#### **FSR**

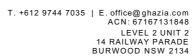
SITE AREA: 1532.98 SQM PERMISSIBLE FSR: 1:1 + 0.5 BONUS PERMISSIBLE GFA: 2299.47 SQM TOTAL GFA: 2299.20 SQM TOTAL FSR: 1.50:1

#### **UNIT MIX**

STUDIO: 1 1 BED: 6 2 BED: 17 3 BED: 6 **UNITS TOTAL: 30** 









129-131 MEMORIAL AVE **LIVERPOOL NSW 2170** 



#### Multi Dwelling

Certificate number: 751816M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by the Department. This document is available at www.basix.nsw.gov.au

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Thursday, 24 August 2017
To be valid, this certificate must be lodged within 3 months of the date of issue.

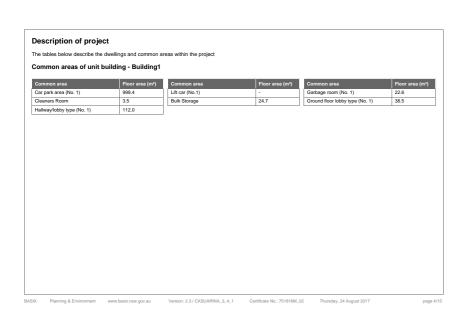


Project summary	
Project name	Memorial Ave Liverpool (job 706)_02
Street address	129-131 Memorial Avenue Liverpool 2170
Local Government Area	Liverpool City Council
Plan type and plan number	strata 385460
Lot no.	A&B
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	30
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 31 Target 30

Certificate Prepared by
Name / Company Name: Sustainable Thermal Solutions
ARN (if applicable): 55146061059

Project address		Common area landscape		
Project name	Memorial Ave Liverpool (job 706)_02	Common area lawn (m²)	50.0	
Street address	129-131 Memorial Avenue Liverpool 2170	Common area garden (m²)	453.67	
Local Government Area	Liverpool City Council	Area of indigenous or low water use	0.0	
Plan type and plan number	strata 385460	species (m²)		
ot no.	A&B	Assessor details		
Section no.	-	Assessor number	BDAV/12/1457	
Project type		Certificate number	0001825690	
No. of residential flat buildings	1	Climate zone	28	
No. of units in residential flat buildings	30	Project score		
No. of multi-dwelling houses	0	Water	<b>✓</b> 40	Target 40
No. of single dwelling houses	0	Thermal Comfort		
Site details		Thermal Comfort	✓ Pass	Target Pass
Site area (m²)	1532.98	Energy	<b>✓</b> 31	Target 30
Roof area (m²)	568			
Non-residential floor area (m²)	0.0			
Residential car spaces	32			
Non-residential car spaces	0			

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species
101	2	70.1	0.0	0.0	0.0	102	2	70.08	0.0	0.0	0.0	103	1	50.01	0.0	0.0	0.0	104	2	70.03	0.0	0.0	0.0
105	1	50.01	0.0	0.0	0.0	106	2	70.08	0.0	0.0	0.0	107	2	70.1	0.0	0.0	0.0	201	2	70.1	0.0	0.0	0.0
202	2	70.08	0.0	0.0	0.0	203	1	50.01	0.0	0.0	0.0	204	2	70.03	0.0	0.0	0.0	205	1	50.01	0.0	0.0	0.0
206	2	70.08	0.0	0.0	0.0	207	2	70.1	0.0	0.0	0.0	301	2	70.1	0.0	0.0	0.0	302	2	70.08	0.0	0.0	0.0
303	1	50.01	0.0	0.0	0.0	304	2	70.03	0.0	0.0	0.0	305	1	50.01	0.0	0.0	0.0	306	2	70.08	0.0	0.0	0.0
307	2	70.1	0.0	0.0	0.0	401	3	95.19	0.0	3.15	0.0	402	3	95.08	0.0	4.56	0.0	403	3	95.19	0.0	3.15	0.0
404	3	95.88	0.0	4.56	0.0	G01	3	90.47	0.0	0.0	0.0	G02	3	90.02	0.0	0.0	0.0	G03	2	70.0	0.0	0.0	0.0



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Commitments for Residential flat buildings - Building1			
) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifie
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, a private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Fare of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	~
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		•	-
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		<b>✓</b>	~
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	~	~	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		<b>✓</b>	
(g) The pool or spa must be located as specified in the table.	~	•	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	~	~

			Fixtur	es		Appl	iances		Indi	ridual po	ol			In	dividual	spa
Dwelling no.	All shower- heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish- washers	Volume (max volume)	Pool	Pool location		Pool shaded	(ma	ume ix ume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	]-		-		-	-
							Alternative w	ater sourc	ce							
Dwelling n		rnative wate oly systems		Size	Configuration	on			Landscape connection		ction	Laundry		Pool top-up	р	Spa top-
None	1-		Ĭ		1-					-		-	T	-	Ĭ	-
(ii) Energy	,													on CC		Certifier
(a) The ap	pplicant mu pplicant mu ied by that :	ust install ead system. If the	h hot wate table spe	er system sper	ed below in carry cified for the dwe al hot water syste not water is supp	elling in the tab	ole below, so the	at the dwe	elling's hot w	ater is				on CC & spec		Certifier check
(a) The ap (b) The ap supplicentra (c) The ap	pplicant mu pplicant mu ied by that a al system to pplicant mu	ust install each system. If the o the dwelling ust install, in	ch hot wate table spe g, so that the	er system sper cifies a centra ne dwelling's h oom, kitchen	cified for the dwe	elling in the tab em for the dwe lied by that ce se dwelling, the	ole below, so the alling, then the antral system.	at the dwe	elling's hot w nust connec	ater is t that						
(a) The ap suppliin central (c) The ap the tall (d) The ap areas's no coordany su	pplicant mu pplicant mu ied by that is al system to pplicant mu ble below. I pplicant mu " headings of headings uch areas.	ust install each system. If the or the dwelling ust install, in Each such we ust install the of the "Coolinating system."	th hot water a table spend, so that the each bathrentilation so cooling arming" and "His specifies oned" is specifies	er system sper cifies a centra ne dwelling's h oom, kitchen system must h id heating sys leating" colum leating colum becified besid	cified for the dwe al hot water syste not water is supp	elling in the tab em for the dwe lied by that ce e dwelling, the n control spec for the dwelling elow, in/for at or "Bedroom"	ole below, so the illing, then the intral system. In the ventilation sy ified for it in the grunder the "Li least 1 living/bareas", then n	stem speci a table. ving areas' edroom are	elling's hot w nust connect ified for that and "Bedro ea of the dw may be inst	room in				& spec		

						DA plans	plans & sp	ecs	check
the tal		ch room or area of the dwe extent specified for that r light.				~	-	•	~
(g) This c	ommitment applies if the	applicant installs a water	heating system for the dw	velling's pool or spa. The	applicant must:				
(a		cified for the pool in the "In ol). If specified, the applica					-	•	
(bi		cified for the spa in the "Inca). If specified, the applica			ively must not install		-	•	
(h) The a	pplicant must install in the	e dwelling:							
(a	<ul> <li>a) the kitchen cook-top a table below;</li> </ul>	nd oven specified for that	dwelling in the "Appliance	es & other efficiency meas	sures" column of the			•	
(bi		ch a rating is specified for that the appliance has tha		liances & other efficiency	measures" column of		-	•	-
(cı	c) any clothes drying line	specified for the dwelling	in the "Appliances & othe	r efficiency measures" co	lumn of the table.			•	
(i) If spec		licant must carry out the d	levelopment so that each	refrigerator space in the o	twelling is "well				
	atou .						_ •		
	Hot water	Bathroom ven	ntilation system	Kitchen vent	ilation system	L	aundry venti	ilation sys	tem
	Hot water Hot water system	Bathroom ven	otilation system  Operation control	Kitchen vent	ilation system  Operation control	L: Each laund			tem on control
io.							dry an, ducted	Operation	on control
io.	Hot water system gas instantaneous 3	Each bathroom individual fan, ducted	Operation control	Each kitchen no mechanical	Operation control	Each laund	dry an, ducted	Operation	on control
io.	Hot water system gas instantaneous 3	Each bathroom individual fan, ducted	Operation control	Each kitchen no mechanical	Operation control	Each laund	dry an, ducted	Operation	on control
io.	Hot water system gas instantaneous 3	Each bathroom individual fan, ducted	Operation control	Each kitchen no mechanical	Operation control	Each laund	dry an, ducted	Operation	on control
io.	Hot water system gas instantaneous 3	Each bathroom individual fan, ducted	Operation control	Each kitchen no mechanical	Operation control	Each laund	dry an, ducted	Operation	
io.	Hot water system gas instantaneous 3	Each bathroom individual fan, ducted	Operation control	Each kitchen no mechanical	Operation control	Each laund	dry an, ducted	Operation	on control
io.	Hot water system gas instantaneous 3	Each bathroom individual fan, ducted	Operation control	Each kitchen no mechanical	Operation control	Each laund	dry an, ducted	Operation	on control
io.	Hot water system gas instantaneous 3	Each bathroom individual fan, ducted	Operation control	Each kitchen no mechanical	Operation control	Each laund	dry an, ducted	Operation	on control
Owelling 10. All dwellings	Hot water system gas instantaneous 3 star	Each bathroom individual fan, ducted	Operation control	Each kitchen  no mechanical ventilation (ie. natural)	Operation control	Each laund	dry an, ducted or roof	Operation	on control
All dwellings	Hot water system gas instantaneous 3 star	Each bathroom individual fan, ducted to façade or roof	Operation control manual switch on/off	Each kitchen  no mechanical ventilation (ie. natural)	Operation control	Each laund individual fr to façade o	dry an, ducted or roof	Operation	on control

	Coc	oling	Hea	ting				Artifi	cial lighting				Natural lig	ghting
Owelling 10.	living areas	bedroom areas	living areas	bedroo areas	m	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms toilets	Each laundi	ry All	lways	No. of bathrooms &/or toilets	Main kitcher
101, 102, 103, 104, 301,	1-phase airconditioning 3 Star (new rating)	ceiling fans	1-phase airconditioning 3 Star (new rating)	-		3	1	yes	yes	yes	yes		0	yes
01, 07, 01, 07, 07, 01, 07,	1-phase airconditioning 3 Star (new rating)	ceiling fans	1-phase airconditioning 3 Star (new rating)	-		2	1	yes	yes	yes	yes		0	yes
103, 105, 203, 205, 803, 805, 304	1-phase airconditioning 3 Star (new rating)	ceiling fans	1-phase airconditioning 3 Star (new rating)	-		1	1	yes	yes	yes	yes		0	no
All other dwellings	1-phase airconditioning 3 Star (new rating)	ceiling fans	1-phase airconditioning 3 Star (new rating)	-		2	1	yes	yes	yes	yes		0	no
	Individu	al pool	Individual sp	a				Appliances	s & other efficier	ncy meas	sures			
welling io.	Pool heating system	Timer	Spa heating system	Timer	Kitche	n Re op/oven	efrigerator	Well ventilated fridge space		Clothes vasher	Clothes dryer	Indoor sheltere clothes drying	ed outdo unsh line cloth	oor or eltered
ll wellings	-	-	-	-	gas co electric			no	-  -		-	no	no	

FOR DA PURPOSES ONLY	-
NOT FOR CONSTRUCTION	
DA	

A3			
al Size	DA	DA	Donostorios
Drawing Original Size	24/08/17	21/10/16	Ooto
Drawii	В	∢	o cool



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.







(ii) Energy





Show on DA plans Show on CC/CDC Certifier check





GHAZI AL ALI NSW reg. no. 7542	
T. +612 9744 7035   E. office@ghazia.com ACN: 67167131848 LEVEL 2 UNIT 2 14 RAILWAY PARADE BURWOOD NSW 2134	

PROJECT			
129-131 N	MEMORIA	L AVE	, LIVERPOOL
CLIENT			
ISHRAT K	ATHIA		
SCALE		DATE 24/08/201	7
DRAWN DL	PROJECT A	RCHITECT	PROJECT DIRECTOR

DA A 0001		В
DRAWING NUMBER	- 1	SSUE
BASIX COMMITMENTS	PROJECT NUMBER	26.16

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with hose aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
(g) Where there is an in-slab heating or cooling system, the applicant must:	~	~	~
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	_		_

		Thermal loads
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
101	24.6	24.7
102	41.6	28.9
103	48.0	29.6
104	76.0	28.8
105	14.2	27.7

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welling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
06	58.2	35.3
07	23.4	27.0
101	25.0	24.7
102	35.7	29.9
203	11.0	27.1
204	59.9	30.0
205	14.7	27.1
206	33.8	36.7
207	23.8	26.9
301	38.2	30.2
302	47.4	34.4
303	15.3	29.0
304	68.1	31.9
305	18.5	29.2
306	47.6	43.0
307	36.1	33.4
101	48.0	53.0
102	74.8	53.3
103	46.4	54.4
104	67.7	47.2
301	53.9	20.6
302	84.5	62.9
303	48.3	36.8
304	82.6	51.7
All other dwellings	49.9	27.4

Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Thermal loads  Area adjusted cooling load (in mJ/m²/yr)
106	58.2	35.3
107	23.4	27.0
201	25.0	24.7
202	35.7	29.9
203	11.0	27.1
204	59.9	30.0
205	14.7	27.1
206	33.8	36.7
207	23.8	26.9
301	38.2	30.2
302	47.4	34.4
303	15.3	29.0
304	68.1	31.9
305	18.5	29.2
306	47.6	43.0
307	36.1	33.4
401	48.0	53.0
402	74.8	53.3
403	46.4	54.4
404	67.7	47.2
G01	53.9	20.6
G02	84.5	62.9
G03	48.3	36.8
G04	82.6	51.7
All other dwellings	49.9	27.4

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Thursday, 24 August 2017

(b) Common areas and central systems/facilities Show on DA plans Show on CC/CDC Certifier check (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then the item must meet the specifications listed for it in the table. (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table. ~ (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. • **~** (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. • 
 Common area
 Showerheads rating
 Toilets rating
 Taps rating
 Clothes washers rating

 All common area
 no common facility
 4 star
 4 star
 no common laundry facility
 (ii) Energy

•

~

~

•

Show on DA plans Show on CC/CDC Certifier check • • . )

(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. • • (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. ~ •

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	Common area ventilation system Common area lighting			Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS	
Car park area (No. 1)	ventilation exhaust only	carbon monoxide monitor + VSD fan	fluorescent	time clock and motion sensors	No	
Lift car (No.1)	-	-	compact fluorescent	connected to lift call button	No	
Garbage room (No. 1)	ventilation exhaust only	-	compact fluorescent	manual on / manual off	No	
Cleaners Room	no mechanical ventilation	-	compact fluorescent	manual on / manual off	No	
Bulk Storage	no mechanical ventilation	-	compact fluorescent	manual on / manual off	No	
Ground floor lobby type (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	No	
Hallway/lobby type (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	No	

Central energy systems	Туре	Specification
ift (No. 1)	hydraulic	Number of levels (including basement): 6

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) Common a	reas and central systems/fac	ilities					
i) Water					Show on DA plans	Show on CC/CDC plans & specs	Certifier check
	ng out the development, the applic meet the specifications listed for it		tap or clothes washer into a common are	a, then that		~	-
	stems" column of the table below		alternative water supply system(s) specifies sized, be configured, and be connected		~	~	~
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.					~	~	
(d) A pool or s	pa listed in the table must have a	cover or shading if specified for the	ne pool or spa in the table.			~	
(e) The applica	ant must install each fire sprinkler	system listed in the table so that	the system is configured as specified in t	ne table.		~	-
(f) The applica	int must ensure that the central co	oling system for a cooling tower i	s configured as specified in the table.			~	~
Common area	Showerheads rating	Toilets rating	Taps rating	Cloth	nes washer	s rating	
All common	no common facility	4 star	4 star	no co	ommon laun	dry facility	

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washer	s rating		
All common areas	no common facility	4 star	4 star	no common laun	common laundry facility		
(ii) Energy				Show on DA plans	Show on CC/CDC plans & specs	Certifie check	
		nstalls a ventilation system to service a type specified for that common area,	a common area specified in the table and must meet the efficiency measure		~	~	
specified in	the table below, the lighting specified nt must also install a centralised lighti		ial lighting" for each common area ist meet the efficiency measure specifie nent System (BMS) for the common are		•	~	
(c) The applicar	nt must install the systems and fixture	s specified in the "Central energy syste	ems" column of the table below. In each in the table.				

#### Notes

2. The applicant must identify each dwelling, building and common areal listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as its given to that development, building or common seas in this certificate.

This note applies if the proposed development in volves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.

the building or development to be used for residential purposes.

4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).

5. If a star or other rating is specified in a commitment, this is a minimum rating.

6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumption in areas with plotable water supply.

Commitments identified with a " " in the "Show on DA plane" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

unvelopment apprication is to be todged for the proposed development).

2. Commitments identified with a "\_\_ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

3. Commitments identified with a '\_\_ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillent it is required to monitor in relation to the building or part, has been fulfilled).

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page 10/15















PROJECT			
129-131	MEMORIA	AL AV	E, LIVERPOOL
CLIENT			
ISHRAT	KATHIA		
SCALE		DATE 24/08/20	17
DRAWN	PROJECT	ARCHITECT	PROJECT DIRECTOR
DL	JU		GA

DRAWING NUMBER		SSUE B
BASIX COMMITMENTS	PROJECT NUMBER	26.16



**GROUND FLOOR PLAN** 



LEVEL 01

**UNIT SCHEDULE** 

**UNIT TYPE** 

3 BED

3 BED

2 BED

2 BED

2 BED

2 BED

1 BED

2 BED

1 BED

2 BED

2 BED

2 BED

2 BED

1 BED

2 BED

1 BED

2 BED

2 BED

2 BED

2 BED

1 BED

2 BED

1 BED

2 BED

2 BED

3 BED

3 BED

3 BED

3 BED

**UNIT TYPE** 

**UNIT TYPE** 

**UNIT TYPE** 

STUDIO

**UNIT TYPE** 

INTERNAL

AREA

90.10 m<sup>2</sup>

90.02 m<sup>2</sup>

70.00 m<sup>2</sup>

35.34 m<sup>2</sup>

70.18 m<sup>2</sup>

INTERNAL

AREA

70.10 m<sup>2</sup>

70.08 m<sup>2</sup>

50.01 m<sup>2</sup>

70.03 m<sup>2</sup>

50.01 m<sup>2</sup>

70.08 m<sup>2</sup>

70.10 m<sup>2</sup>

INTERNAL

AREA

70.10 m<sup>2</sup>

70.08 m<sup>2</sup>

50.01 m<sup>2</sup>

70.03 m<sup>2</sup>

50.01 m<sup>2</sup>

70.08 m<sup>2</sup>

70.10 m<sup>2</sup>

INTERNAL

AREA

70.10 m<sup>2</sup>

70.08 m<sup>2</sup>

50.01 m<sup>2</sup>

70.03 m<sup>2</sup>

50.01 m<sup>2</sup>

70.08 m<sup>2</sup>

70.10 m<sup>2</sup>

INTERNAL

AREA

95.19 m<sup>2</sup>

95.08 m<sup>2</sup>

95.19 m<sup>2</sup>

95.88 m<sup>2</sup>

PRIVATE

33.75 m<sup>2</sup>

43.60 m<sup>2</sup>

19.43 m<sup>2</sup>

19.78 m<sup>2</sup>

32.63 m<sup>2</sup>

PRIVATE

10.00 m<sup>2</sup>

12.16 m<sup>2</sup>

13.63 m<sup>2</sup>

 $15.70 \; m^2$ 

13.63 m<sup>2</sup>

11.47 m<sup>2</sup>

 $10.00 \; m^2$ 

PRIVATE

10.00 m<sup>2</sup>

12.16 m<sup>2</sup>

13.63 m<sup>2</sup>

15.70 m<sup>2</sup>

13.63 m<sup>2</sup>

11.47 m<sup>2</sup>

 $10.00 \; m^2$ 

PRIVATE

10.00 m<sup>2</sup>

12.16 m<sup>2</sup>

13.63 m<sup>2</sup>

15.70 m<sup>2</sup>

13.63 m<sup>2</sup>

11.47 m<sup>2</sup>

10.00 m<sup>2</sup>

PRIVATE

19.16 m<sup>2</sup>

12.60 m<sup>2</sup>

19.16 m<sup>2</sup>

12.60 m<sup>2</sup>

OPEN SPACE

OPEN SPACE

OPEN SPACE

OPEN SPACE

OPEN SPACE

SOLAR

ACCESS

YES

YES

YES

NO

YES

SOLAR

**ACCESS** 

YES

YES

YES

NO

YES

YES

LIMITED

SOLAR

**ACCESS** 

YES

YES

YES

NO

YES

YES

LIMITED

SOLAR

**ACCESS** 

YES

YES

YES

NO

YES

YES

LIMITED

**SOLAR** 

YES

YES

YES

YES

**ACCESS** 

CROSS-

YES

YES

YES

NO

YES

YES

YES

NO

NO

NO

YES

YES

YES

YES

NO

NO

NO

YES

YES

YES

YES

NO

NO

NO

YES

YES

YES

YES

YES

YES

CROSS-

**VENTILATION** 

CROSS-

**VENTILATION** 

CROSS-

**VENTILATION** 

**CROSS-**

VENTILATION

**VENTILATION** 

STORAGE

10.83 m<sup>3</sup>

12.99 m<sup>3</sup>

10.81 m<sup>3</sup>

 $4.25 \, \text{m}^3$ 

 $9.76 \, \text{m}^3$ 

**STORAGE** 

 $9.76 \, \text{m}^3$ 

9.01 m<sup>3</sup>

 $7.73 \text{ m}^3$ 

8.74 m<sup>3</sup>

 $7.73 \text{ m}^3$ 

9.01 m<sup>3</sup>

 $9.76 \, \text{m}^3$ 

**STORAGE** 

 $9.76 \, \text{m}^3$ 

 $9.01 \, m^3$ 

 $7.73 \text{ m}^3$ 

8.74 m<sup>3</sup>

 $7.73 \text{ m}^3$ 

9.01 m<sup>3</sup>

 $9.76 \, \text{m}^3$ 

STORAGE

 $9.76 \, \text{m}^3$ 

 $9.01 \, \text{m}^3$ 

 $7.73 \text{ m}^3$ 

 $8.74 \text{ m}^3$ 

 $7.73 \text{ m}^3$ 

9.01 m<sup>3</sup>

 $9.76 \text{ m}^3$ 

STORAGE

11.63 m<sup>3</sup>

13.79 m<sup>3</sup>

11.63 m<sup>3</sup>

13.79 m<sup>3</sup>

26.16

ISSUE

**GROUND FLOOR** 

UNIT NO.

G01

G02

G03

G04

G05

101

102

103

104

105

106

107

201

202

203

204

205

206

207

301

302

303

304

305

306

307

401

402

403

404

LEVEL 04

UNIT NO.

LEVEL 03

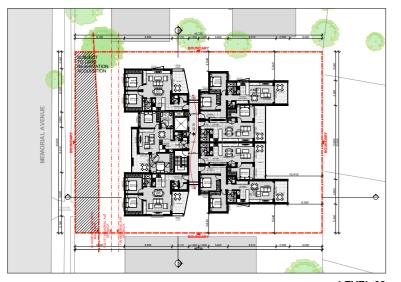
UNIT NO.

LEVEL 02

UNIT NO.

LEVEL 01

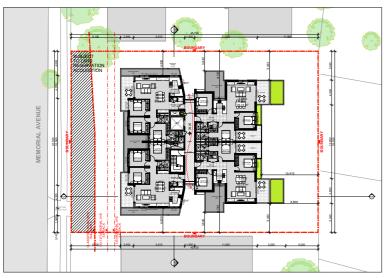
UNIT NO.



LEVEL 02



LEVEL 03



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DA

LEVEL 04

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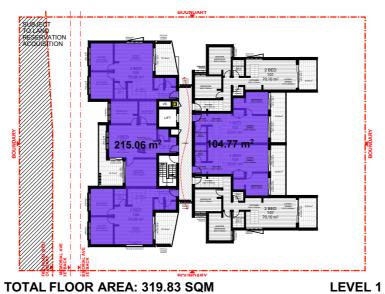


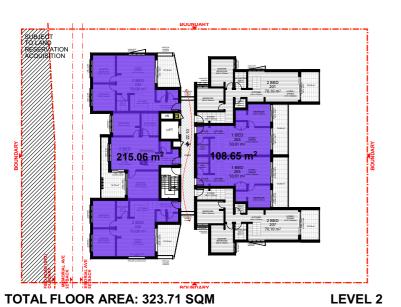
PROJECT						
129-131 MEMORIAL AVE, LIVERPOOL						
CLIENT						
<b>ISHRAT</b>	KATHIA					
SCALE		DATE 06/10/201	7			
DRAWN DL	PROJECT JU	ARCHITECT	PROJECT DIRECTOR			

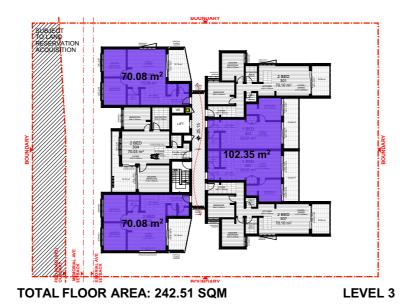
т					DRAWING NAME	
-131 ME	MORIA	L AVI	E, LIVERPOO	L	UNIT SCHEDU	JLE
RAT KA	THIA					
		DATE 06/10/201	17		DRAWING NUMBER	
	PROJECT AR	CHITECT	PROJECT DIRECTOR		DA	A 002











# TOTAL FLOOR AREA: 94.66 SQM LEVEL 4

#### **AFFORDABLE HOUSING**

AFFORDABLE UNITS :1159.56 SQM (50.4%)

**TOTAL GFA: 2298.81 SQM** 50% OF GFA: 1149.40 SQM

AFFORDABLE UNITS: 18 TOTAL NO. OF UNITS: 30

#### AFFORDABLE UNIT SCHEDULE

#### **GROUND FLOOR**

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS- VENTILATION	STORAGE
G03	2 BED	70.00 m <sup>2</sup>	19.43 m <sup>2</sup>	YES	YES	10.81 m <sup>3</sup>
G04	STUDIO	35.34 m <sup>2</sup>	19.78 m <sup>2</sup>	NO	NO	$4.25 \text{ m}^3$
G05	2 BED	70.18 m <sup>2</sup>	32.63 m <sup>2</sup>	YES	YES	$9.76 \text{ m}^3$

#### LEVEL 01

UNIT NO.	UNIT TYPE	AREA	OPEN SPACE	ACCESS	VENTILATION	STORAGE
102	2 BED	70.08 m <sup>2</sup>	12.16 m <sup>2</sup>	YES	YES	9.01 m <sup>3</sup>
103	1 BED	50.01 m <sup>2</sup>	13.63 m <sup>2</sup>	YES	NO	$7.73 \text{ m}^3$
104	2 BED	70.03 m <sup>2</sup>	15.70 m <sup>2</sup>	NO	NO	$8.74 \text{ m}^3$
105	1 BED	50.01 m <sup>2</sup>	13.63 m <sup>2</sup>	YES	NO	$7.73 \text{ m}^3$
106	2 BED	70.08 m <sup>2</sup>	11.47 m <sup>2</sup>	LIMITED	YES	9.01 m <sup>3</sup>

#### LEVEL 02

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS- VENTILATION	STORAGE
202	2 BED	70.08 m <sup>2</sup>	12.16 m <sup>2</sup>	YES	YES	9.01 m <sup>3</sup>
203	1 BED	50.01 m <sup>2</sup>	13.63 m <sup>2</sup>	YES	NO	$7.73 \text{ m}^3$
204	2 BED	70.03 m <sup>2</sup>	15.70 m <sup>2</sup>	NO	NO	$8.74 \text{ m}^3$
205	1 BED	50.01 m <sup>2</sup>	13.63 m <sup>2</sup>	YES	NO	$7.73 \text{ m}^3$
206	2 BED	70.08 m <sup>2</sup>	11.47 m <sup>2</sup>	LIMITED	YES	9.01 m <sup>3</sup>

#### LEVEL 03

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS- VENTILATION	STORAGE
302	2 BED	70.08 m <sup>2</sup>	12.16 m <sup>2</sup>	YES	YES	$7.73 \text{ m}^3$
303	1 BED	50.01 m <sup>2</sup>	13.63 m <sup>2</sup>	YES	NO	$7.73 \text{ m}^3$
305	1 BED	50.01 m <sup>2</sup>	13.63 m <sup>2</sup>	YES	NO	$7.73 \text{ m}^3$
306	2 BED	70.08 m <sup>2</sup>	12.16 m <sup>2</sup>	NO	YES	$7.73 \; m^3$
				0		

#### LEVEL 04

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS- VENTILATION	STORAGE
402	3 BED	95.08 m <sup>2</sup>	12.60 m <sup>2</sup>	YES	YES	13.79 m <sup>3</sup>



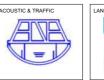
















ARCHITECT  GHAZI AL ALI  NSW reg. no. 7542	
T. +612 9744 7035   E. office@ghazia.com ACN: 67167131848	
LEVEL 2 UNIT 2 14 RAILWAY PARADE BURWOOD NSW 2134	

PROJECT				
129-131	MEN	IORIAI	L AVE,	LIVERPOOL
CLIENT				
ISHRAT	KAT	HIA		
SCALE			DATE 06/10/2017	
DRAWN DL		PROJECT ARC	HITECT	PROJECT DIRECTOR  GA

POOL	AFFORDABI SCHEDULE	E UNIT	PROJECT NUMBER <b>26.16</b>
	DRAWING NUMBER		ISSUE
TOR	DA	A 0021	D



### SITE ANALYSIS SCALE 1:1000



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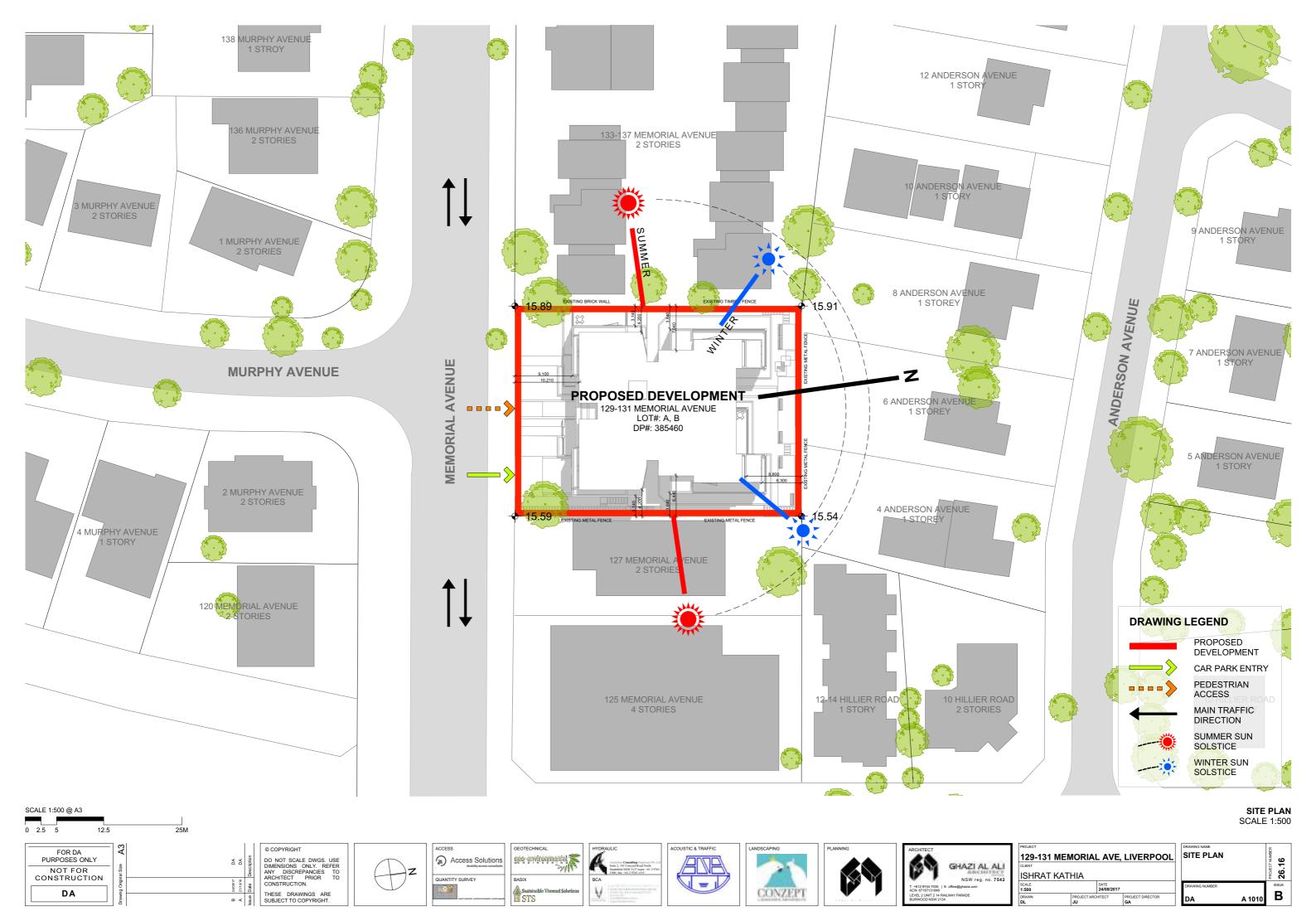




ARCHITECT  GHAZI AL ALI  NSW reg. no. 7542	
T. +612 9744 7035   E. office@ghazie.com ACN: 67167131848 LEVEL 2 UNIT 2 14 RAILWAY PARADE BURWOOD NSW 2134	l

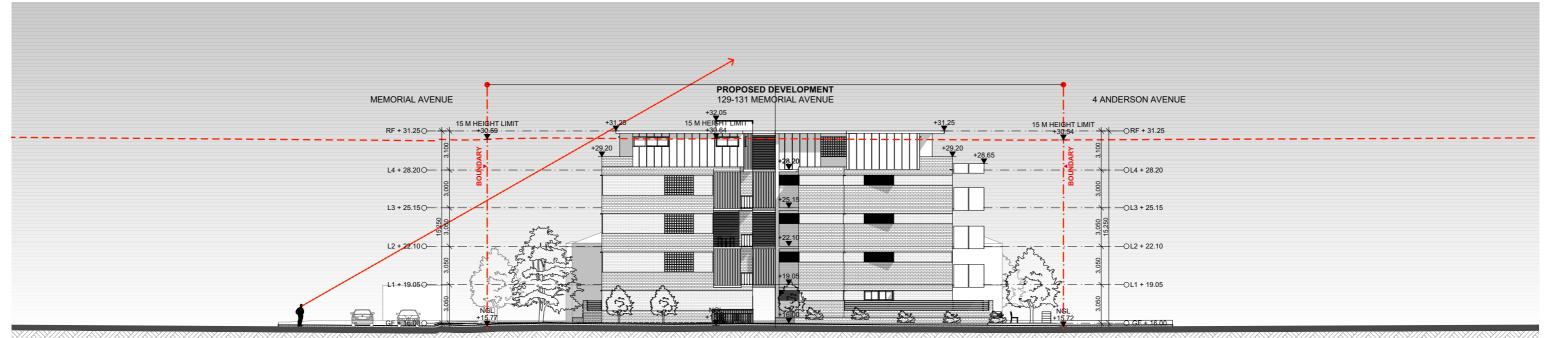
PROJECT					DF
129-131	MEMORIA	AL AVI	E, LIVERPOOI	- 1	S
CLIENT			•		
ISHRAT I	KATHIA				ı
SCALE 1:1000		DATE 24/08/20	17		D
DRAWN DL	PROJECT A	RCHITECT	PROJECT DIRECTOR		ı

DA	<sub>o</sub> B
SITE ANALYSIS	PROJECT NUMBER 26.16











SCALE 1:300 @ A3

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PROJECT						
129-131 MEMORIAL AVE, LIVERPOOL						
CLIENT						
ISHRAT KATHIA						
SCALE		DATE 06/10/2017				
DRAWN	PROJECT ARC	HITECT	PROJECT DIRECTOR			

MAXIMUM BU HEIGHT 3D	JILDING	PROJECT NUMBER	26.16
DRAWING NUMBER		_	SSUE
DA	A 1030		D

PROJECTED VIEW FROM MEMORIAL AVENUE SCALE 1:300







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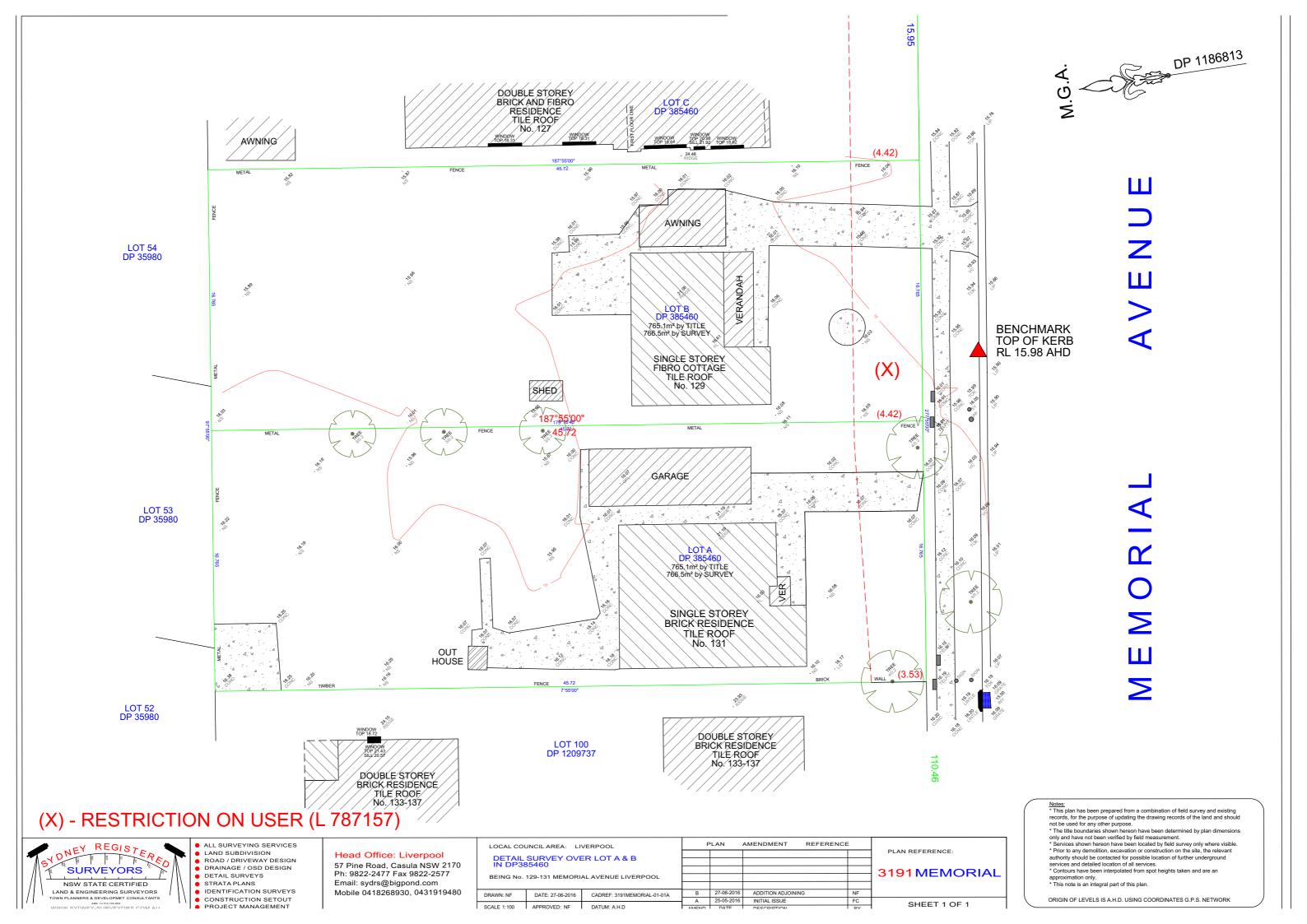


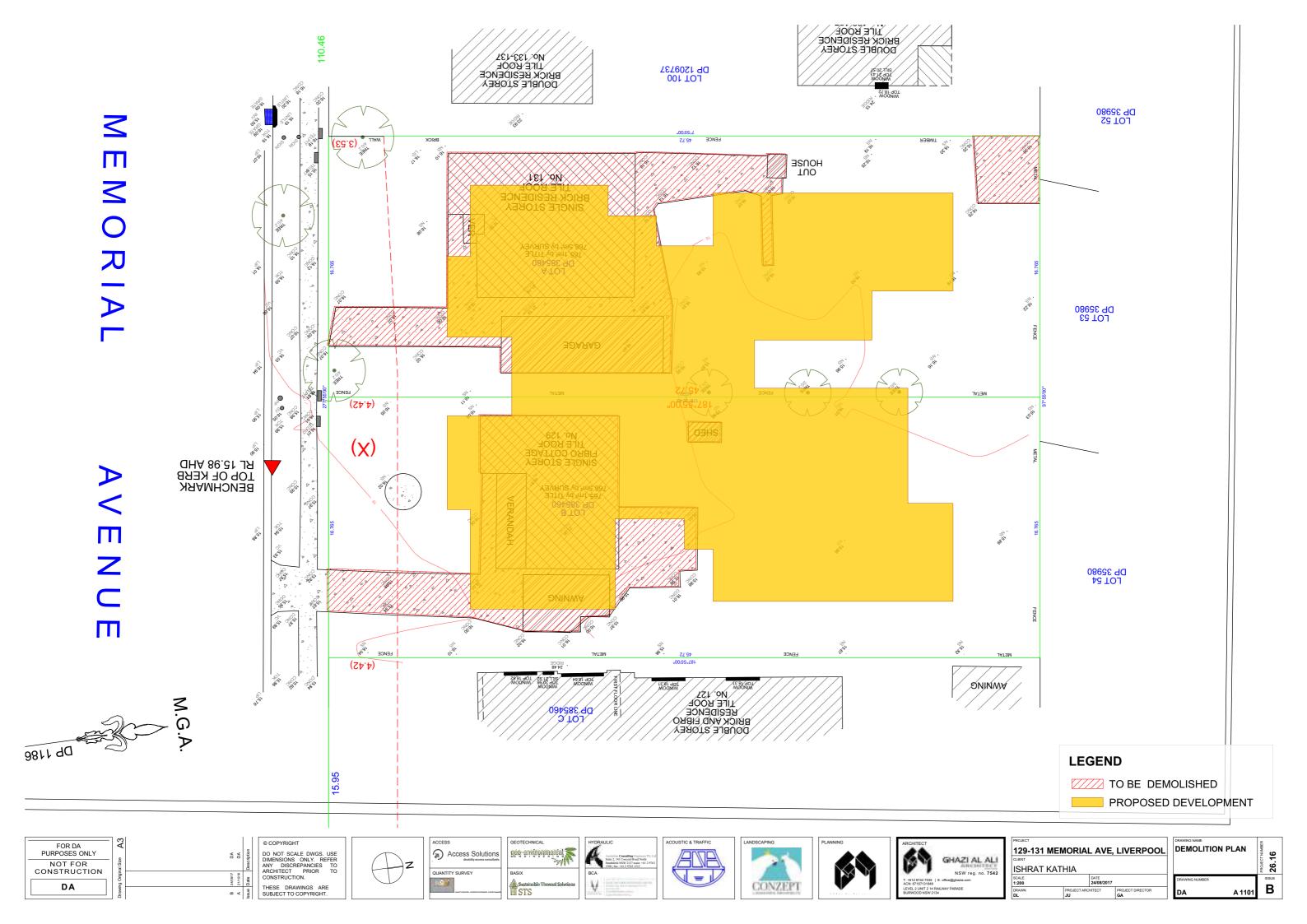


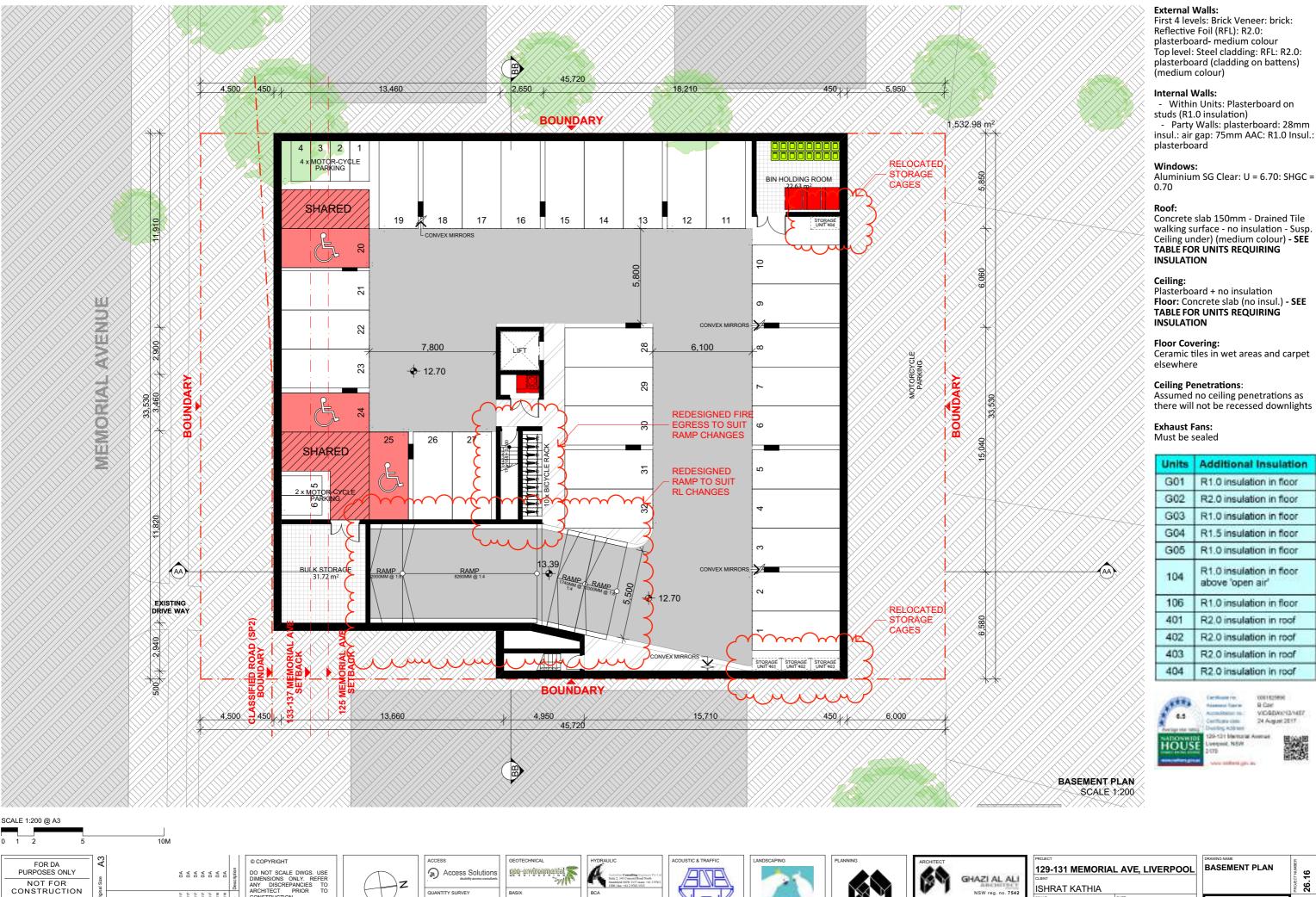
ARCHITECT	GHAZI AL ALI
	NSW reg. no. 7542
T. +612 9744 7035   ACN: 67167131848	E. office@ghazia.com
LEVEL 2 UNIT 2 14 R BURWOOD NSW 213	

	PROJECT						
L	129-131 MEMORIAL AVE, LIVERPOOL						
н	CLIENT						
L	ISHRAT KATHIA						
ı	SCALE 1:300		DATE 06/10/2017				
1	DRAWN	PROJECT ARC	HITECT	PROJECT DIRECTOR			

	DRAWING NUMBER	A 1050	IS	SUE
DL	STREETSCA ANALYSIS	PE	PROJECT NUMBER	26.16







STS

CONSTRUCTION

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BASEMENT PLAN ISHRAT KATHIA A 1201

R1.0 insulation in floor

R2.0 insulation in floor

R1.0 insulation in floor

R1.5 insulation in floor R1.0 insulation in floor

R1.0 insulation in floor

R1.0 insulation in floor

R2.0 insulation in roof

R2.0 insulation in roof

R2.0 insulation in roof

R2.0 insulation in roof

whiting Address 29-131 Memoral Avenue Avenue, NEW

VID@DAY/12/1657

26.16

G

24 August 2017

above 'open air'

