

DRAWING SCHEDULE

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CONCEPT PLAN
A 5001 127 MEMORIAL AVE - DEVELOPMENT
CONCEPT PLAN
A 5002 127 MEMORIAL AVE - DEVELOPMENT
CONCEPT PLAN

FSR

SITE AREA: 1532.98 SQM
PERMISSIBLE FSR: 1:1 + 0.5 BONUS
PERMISSIBLE GFA: 2299.47 SQM
TOTAL GFA: 2299.20 SQM
TOTAL FSR: 1.50 : 1

UNIT MIX

STUDIO: 1
1 BED: 6
2 BED: 17
3 BED: 6
UNITS TOTAL: 30



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14 RAILWAY PARADE
BURWOOD NSW 2134



GHAZI AL ALI
ARCHITECT
PTY LTD
NSW reg. no. 7542

129-131 MEMORIAL AVE
LIVERPOOL NSW 2170

(iii) Thermal Comfort		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.				
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.				
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.				
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.				
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.				
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.				
(g) Where there is an in-slab heating or cooling system, the applicant must:				
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or				
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.				
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.				
Thermal loads				
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)		
101	24.6	24.7		
102	41.6	28.9		
103	48.0	29.6		
104	76.0	28.8		
105	14.2	27.7		

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Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
106	58.2	35.3
107	23.4	27.0
201	25.0	24.7
202	35.7	29.9
203	11.0	27.1
204	59.9	30.0
205	14.7	27.1
206	33.8	36.7
207	23.8	26.9
301	38.2	30.2
302	47.4	34.4
303	15.3	29.0
304	68.1	31.9
305	18.5	29.2
306	47.6	43.0
307	36.1	33.4
401	48.0	53.0
402	74.8	53.3
403	46.4	54.4
404	67.7	47.2
G01	53.9	20.6
G02	84.5	62.9
G03	48.3	36.8
G04	82.6	51.7
All other dwellings	49.9	27.4

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(b) Common areas and central systems/facilities				
		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(i) Water				
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.			✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.		✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.		✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.			✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.			✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.			✓	✓
Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	4 star	no common laundry facility
(ii) Energy		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.			✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.			✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.		✓	✓	✓




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Common area ventilation system			Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area (No. 1)	ventilation exhaust only	carbon monoxide monitor + VSD fan	fluorescent	time clock and motion sensors	No
Lift car (No.1)	-	-	compact fluorescent	connected to lift call button	No
Garbage room (No. 1)	ventilation exhaust only	-	compact fluorescent	manual on / manual off	No
Cleaners Room	no mechanical ventilation	-	compact fluorescent	manual on / manual off	No
Bulk Storage	no mechanical ventilation	-	compact fluorescent	manual on / manual off	No
Ground floor lobby type (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	No
Hallway/lobby type (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	No
Central energy systems	Type	Specification			
Lift (No. 1)	hydraulic	Number of levels (including basement): 6			

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4. Commitments for common areas and central systems/facilities for the development (non-building specific)				
(b) Common areas and central systems/facilities				
(i) Water		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.			✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.		✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.		✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.			✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.			✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.			✓	✓
Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	4 star	no common laundry facility
(ii) Energy		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.			✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.			✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.		✓	✓	✓

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Notes	
1. In these commitments, "applicant" means the person carrying out the development.	
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.	
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.	
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).	
5. If a star or other rating is specified in a commitment, this is a minimum rating.	
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.	
Legend	
1. Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
2. Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
3. Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).	

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DA
24/08/17
21/05/16

Issue Date

DA
24/08/17
21/05/16

Issue Date

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ACCESS
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Quality access consultants.

QUANTITY SURVEY

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f: +61 2 9743 1511

ACOUSTIC & TRAFFIC

LANDSCAPING
CONZEPT
LANDSCAPE ARCHITECTS

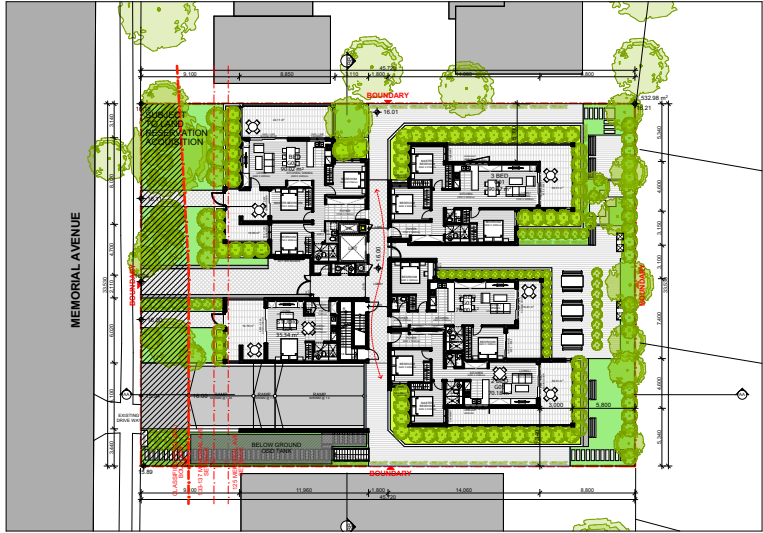
PLANNING

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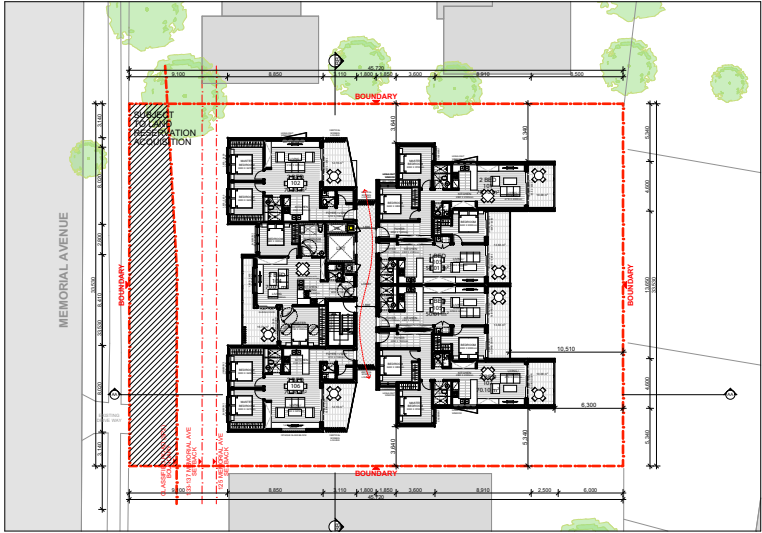
PROJECT
129-131 MEMORIAL AVE, LIVERPOOL
CLIENT
ISHRAT KATHIA
SCALE
DATE
24/08/2017
DRAWN
DL
PROJECT ARCHITECT
JU
PROJECT DIRECTOR
GA

DRAWING NAME
BASIX COMMITMENTS
DRAWING NUMBER
DA
A 0002

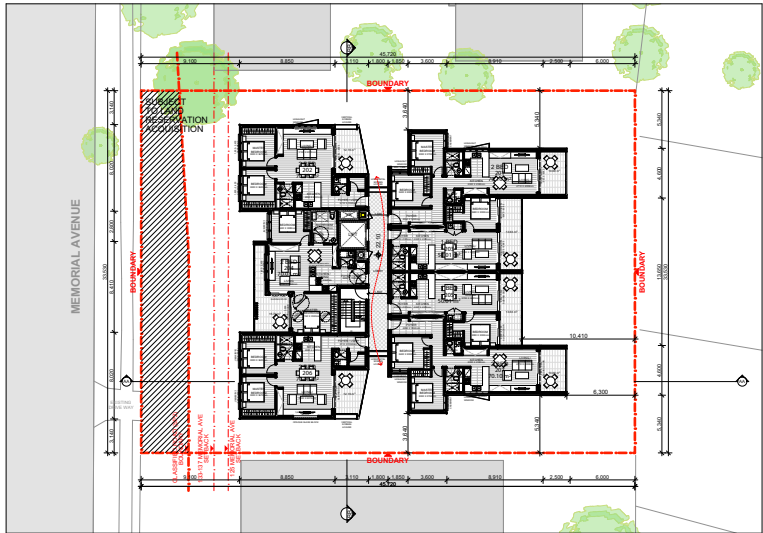
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ISSUE
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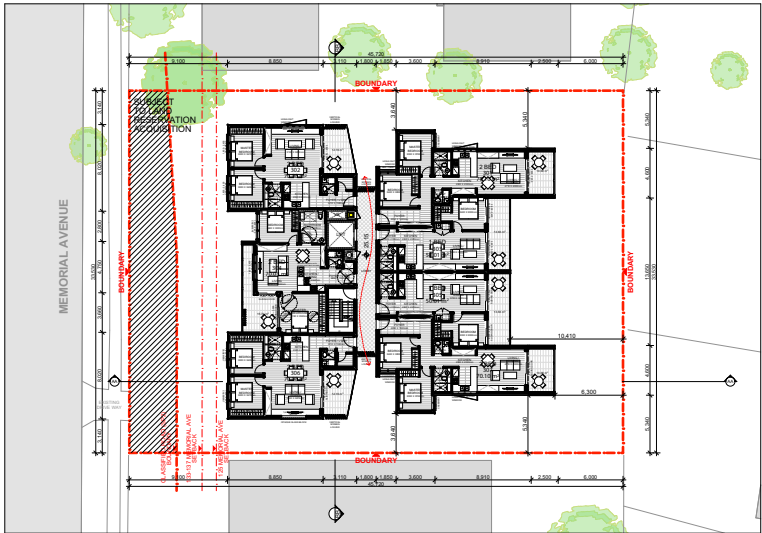
GROUND FLOOR PLAN



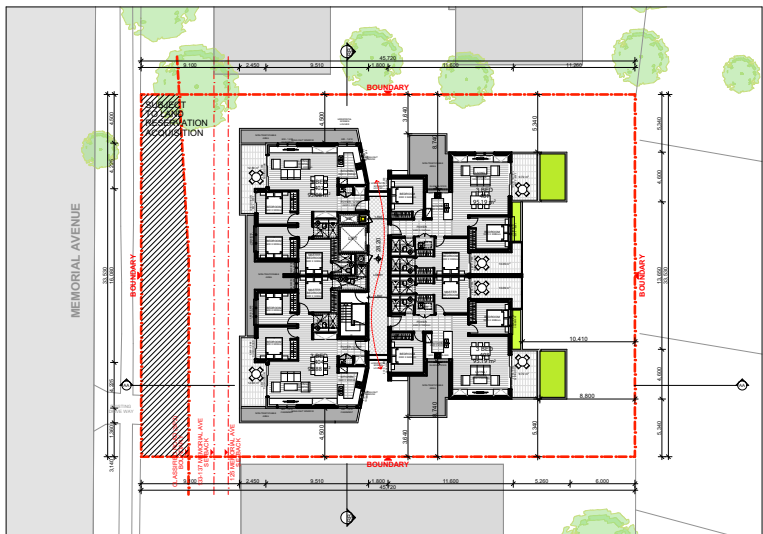
LEVEL 01



LEVEL 02



LEVEL 03



LEVEL 04

UNIT SCHEDULE

GROUND FLOOR

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
G01	3 BED	90.10 m ²	33.75 m ²	YES	YES	10.83 m ³
G02	3 BED	90.02 m ²	43.60 m ²	YES	YES	12.99 m ³
G03	2 BED	70.00 m ²	19.43 m ²	YES	YES	10.81 m ³
G04	STUDIO	35.34 m ²	19.78 m ²	NO	NO	4.25 m ³
G05	2 BED	70.18 m ²	32.63 m ²	YES	YES	9.76 m ³

LEVEL 01

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
101	2 BED	70.10 m ²	10.00 m ²	YES	YES	9.76 m ³
102	2 BED	70.08 m ²	12.16 m ²	YES	YES	9.01 m ³
103	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
104	2 BED	70.03 m ²	15.70 m ²	NO	NO	8.74 m ³
105	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
106	2 BED	70.08 m ²	11.47 m ²	LIMITED	YES	9.01 m ³
107	2 BED	70.10 m ²	10.00 m ²	YES	YES	9.76 m ³

LEVEL 02

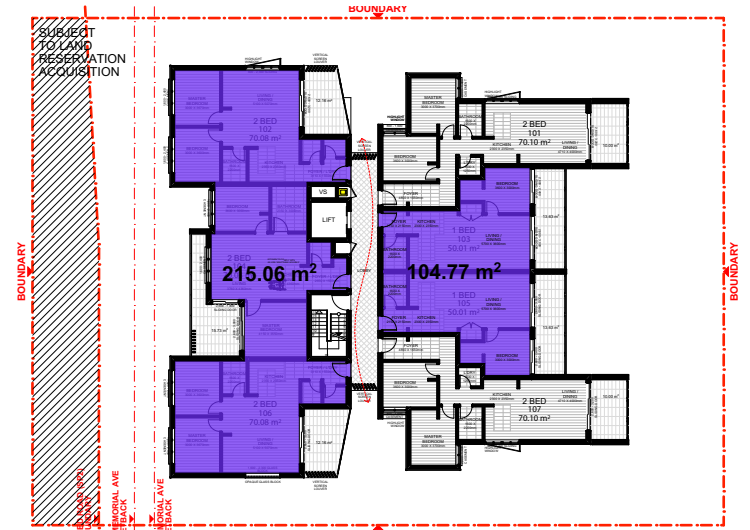
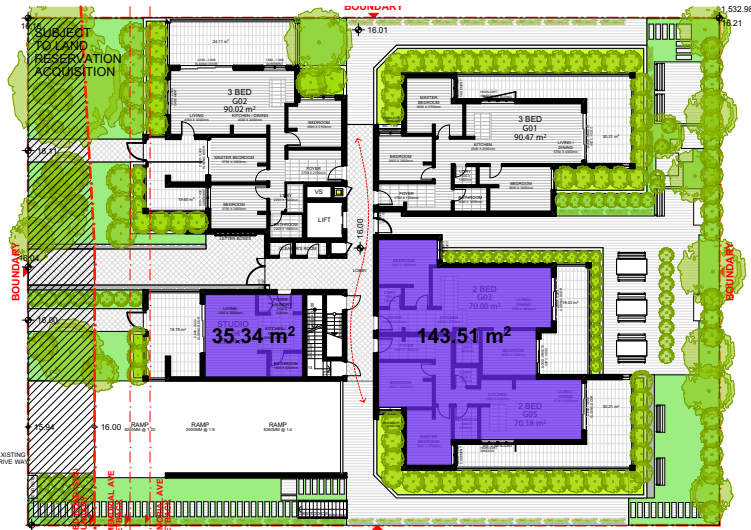
UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
201	2 BED	70.10 m ²	10.00 m ²	YES	YES	9.76 m ³
202	2 BED	70.08 m ²	12.16 m ²	YES	YES	9.01 m ³
203	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
204	2 BED	70.03 m ²	15.70 m ²	NO	NO	8.74 m ³
205	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
206	2 BED	70.08 m ²	11.47 m ²	LIMITED	YES	9.01 m ³
207	2 BED	70.10 m ²	10.00 m ²	YES	YES	9.76 m ³

LEVEL 03

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
301	2 BED	70.10 m ²	10.00 m ²	YES	YES	9.76 m ³
302	2 BED	70.08 m ²	12.16 m ²	YES	YES	9.01 m ³
303	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
304	2 BED	70.03 m ²	15.70 m ²	NO	NO	8.74 m ³
305	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
306	2 BED	70.08 m ²	11.47 m ²	LIMITED	YES	9.01 m ³
307	2 BED	70.10 m ²	10.00 m ²	YES	YES	9.76 m ³

LEVEL 04

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
401	3 BED	95.19 m ²	19.16 m ²	YES	YES	11.63 m ³
402	3 BED	95.08 m ²	12.60 m ²	YES	YES	13.79 m ³
403	3 BED	95.19 m ²	19.16 m ²	YES	YES	11.63 m ³
404	3 BED	95.88 m ²	12.60 m ²	YES	YES	13.79 m ³



AFFORDABLE UNIT SCHEDULE

GROUND FLOOR

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
G03	2 BED	70.00 m ²	19.43 m ²	YES	YES	10.81 m ³
G04	STUDIO	35.34 m ²	19.78 m ²	NO	NO	4.25 m ³
G05	2 BED	70.18 m ²	32.63 m ²	YES	YES	9.76 m ³

LEVEL 01

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
102	2 BED	70.08 m ²	12.16 m ²	YES	YES	9.01 m ³
103	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
104	2 BED	70.03 m ²	15.70 m ²	NO	NO	8.74 m ³
105	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
106	2 BED	70.08 m ²	11.47 m ²	LIMITED	YES	9.01 m ³

LEVEL 02

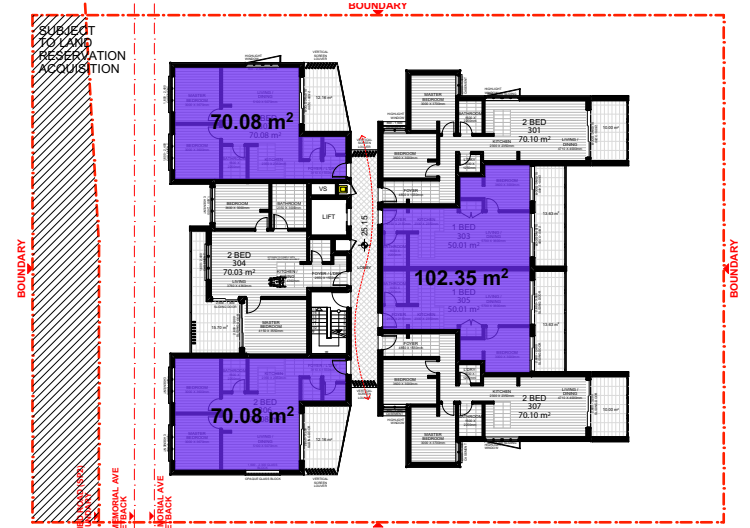
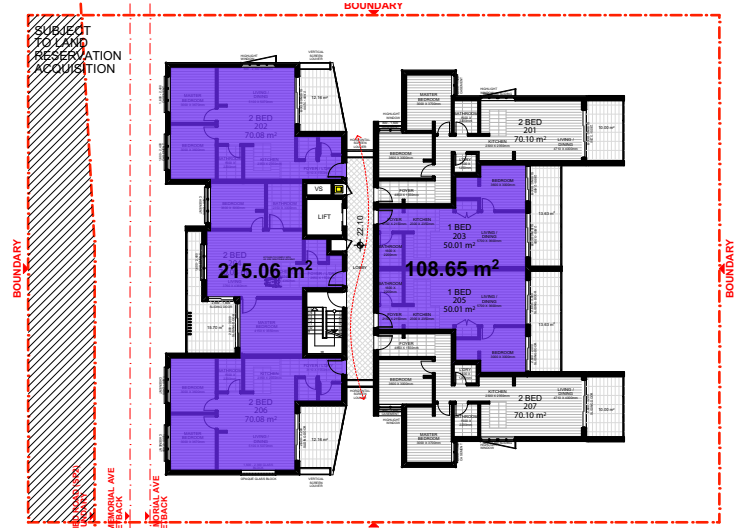
UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
202	2 BED	70.08 m ²	12.16 m ²	YES	YES	9.01 m ³
203	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
204	2 BED	70.03 m ²	15.70 m ²	NO	NO	8.74 m ³
205	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
206	2 BED	70.08 m ²	11.47 m ²	LIMITED	YES	9.01 m ³

LEVEL 03

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
302	2 BED	70.08 m ²	12.16 m ²	YES	YES	7.73 m ³
303	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
305	1 BED	50.01 m ²	13.63 m ²	YES	NO	7.73 m ³
306	2 BED	70.08 m ²	12.16 m ²	NO	YES	7.73 m ³

LEVEL 04

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	SOLAR ACCESS	CROSS-VENTILATION	STORAGE
402	3 BED	95.08 m ²	12.60 m ²	YES	YES	13.79 m ³

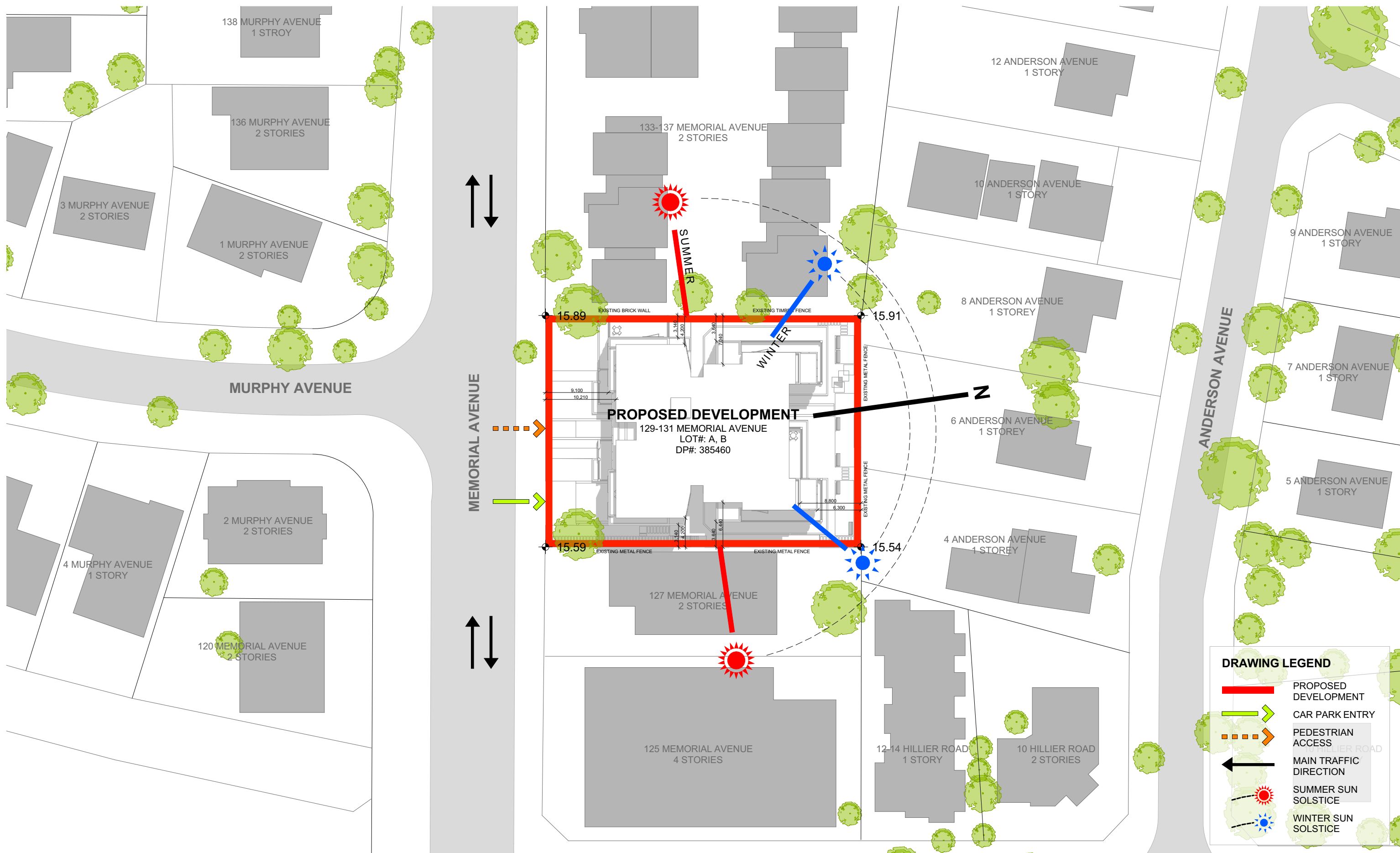


AFFORDABLE HOUSING

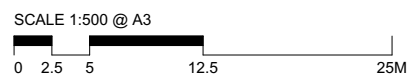
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TOTAL GFA: 2298.81 SQM
50% OF GFA: 1149.40 SQM

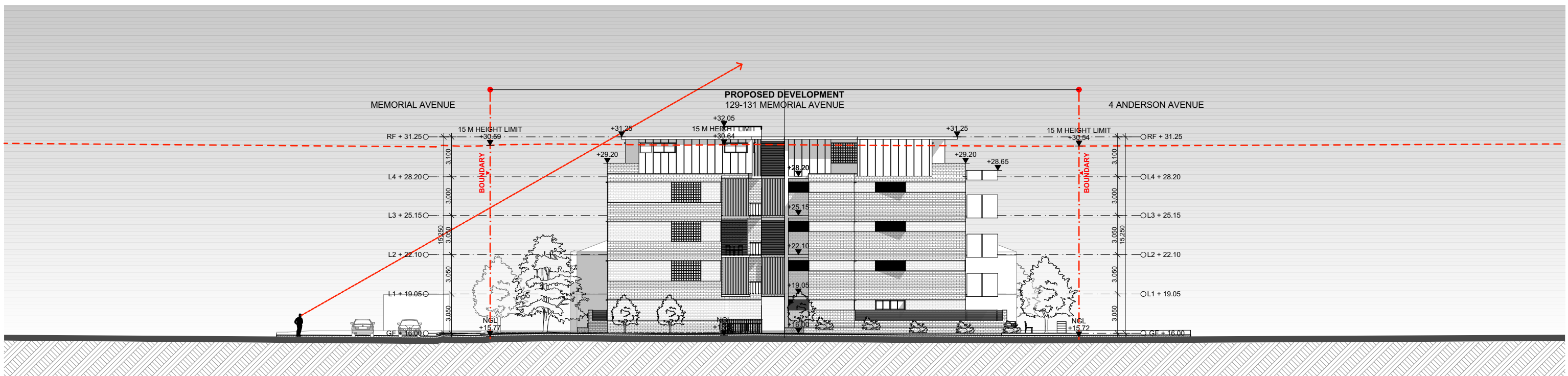
AFFORDABLE UNITS: 18
TOTAL NO. OF UNITS: 30



SITE PLAN
SCALE 1:500



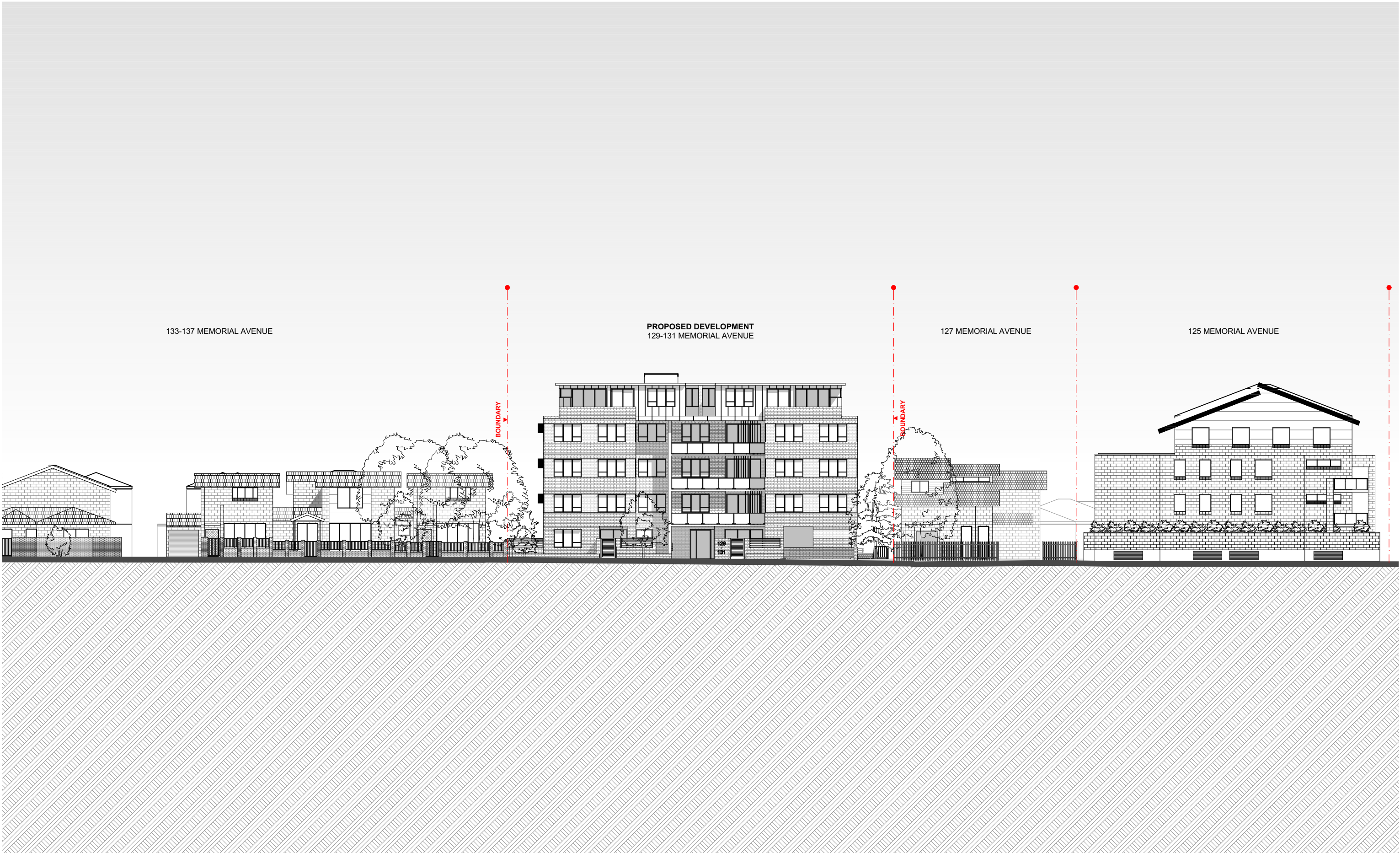
FOR DA PURPOSES ONLY		Drawing Original Size	A3	DA		Description	© COPYRIGHT DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.		ACCESS  Access Solutions disability access consultants		GEOTECHNICAL 		HYDRAULIC  Hydraulic Engineering Consulting Engineers Pty Ltd Suite 2, 141 Concord Road Northmead NSW 2157 Phone: +61 2 9763 1000 Fax: +61 2 9763 1115		ACOUSTIC & TRAFFIC 		LANDSCAPING 		PLANNING GHAZI AL ALI NSW reg. no. 7542 T: +612 9744 7035 E: office@ghazi.com ACN: 61767131848 LEVEL 2 UNIT 1/14 RAILWAY PARADE BURWOOD NSW 2134		ARCHITECT  GHAZI AL ALI NSW reg. no. 7542 T: +612 9744 7035 E: office@ghazi.com ACN: 61767131848 LEVEL 2 UNIT 1/14 RAILWAY PARADE BURWOOD NSW 2134		PROJECT 129-131 MEMORIAL AVE, LIVERPOOL CLIENT ISHRAT KATHIA SCALE 1:500 DATE 24/08/2017 PROJECT ARCHITECT DA PROJECT DIRECTOR CA		DRAWING NAME SITE PLAN DRAWING NUMBER DA A 1010 PROJECT NUMBER 26.16 ISSUE B	
NOT FOR CONSTRUCTION				B 24/08/17 A 23/09/18	Issue Date				DA		ACCESS  Access Solutions disability access consultants		QUANTITY SURVEY  Quantity Survey quantities consultants		BASIX  Sustainable Thermal Solutions STS		BCA  BCA Building Code of Australia		ARCHITECT  GHAZI AL ALI NSW reg. no. 7542 T: +612 9744 7035 E: office@ghazi.com ACN: 61767131848 LEVEL 2 UNIT 1/14 RAILWAY PARADE BURWOOD NSW 2134		PROJECT 129-131 MEMORIAL AVE, LIVERPOOL CLIENT ISHRAT KATHIA SCALE 1:500 DATE 24/08/2017 PROJECT ARCHITECT DA PROJECT DIRECTOR CA		DRAWING NAME SITE PLAN DRAWING NUMBER DA A 1010 PROJECT NUMBER 26.16 ISSUE B			



SCALE 1:300 @ A3

PROJECTED VIEW FROM MEMORIAL AVENUE
SCALE 1:300

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08/10/17 03/08/17 24/08/17 21/10/16	D C B A		08/10/17 03/08/17 24/08/17 21/10/16												



SCALE 1:300 @ A3

STREETSCAPE ANALYSIS
SCALE 1:300

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DA

Drawing Original Size
A3

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C	B	A
06/07/17	24/03/17	21/01/16
Issue	Date	Description

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LEVEL 2 UNIT 3 14 RAILWAY PARADE

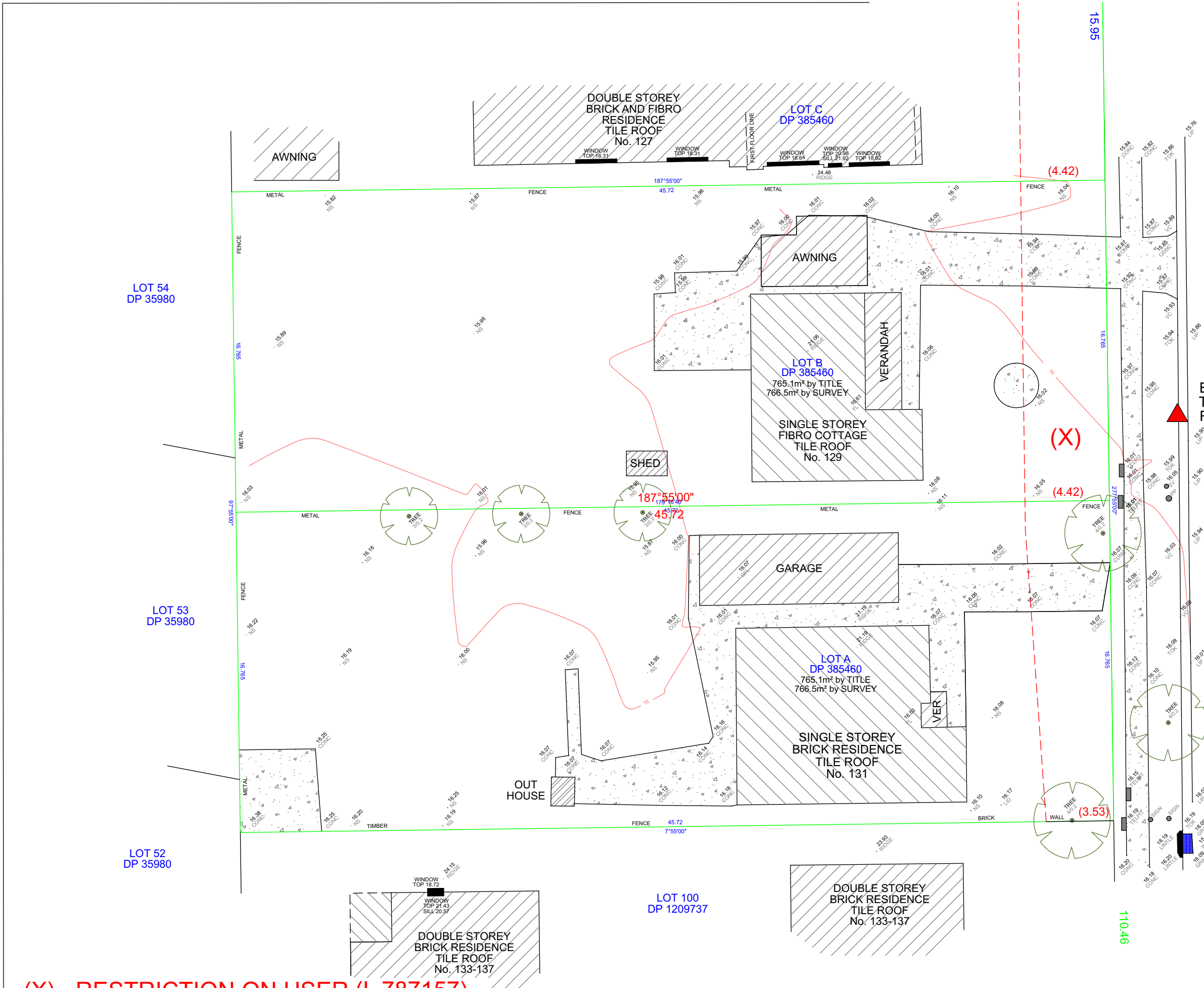
BURWOOD NSW 2134

PROJECT	129-131 MEMORIAL AVE, LIVERPOOL		
CLIENT	ISHRAT KATHIA		
SCALE	1:300	DATE	06/10/2017
DRAWN	DL	PROJECT ARCHITECT	JU
		PROJECT DIRECTOR	GA

DRAWING NAME	STREETSCAPE ANALYSIS		
DRAWING NUMBER	DA	A 1050	PROJECT NUMBER
ISSUE	C	26.16	

MEMORIAL AVENUE

BENCHMARK
TOP OF KERB
RL 15.98 AHD



(X) - RESTRICTION ON USER (L 787157)

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LAND & ENGINEERING SURVEYORS
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- CONSTRUCTION SETOUT
- PROJECT MANAGEMENT

Head Office: Liverpool
57 Pine Road, Casula NSW 2170
Ph: 9822-2477 Fax 9822-2577
Email: sydrs@bigpond.com
Mobile 0418268930, 0431919480

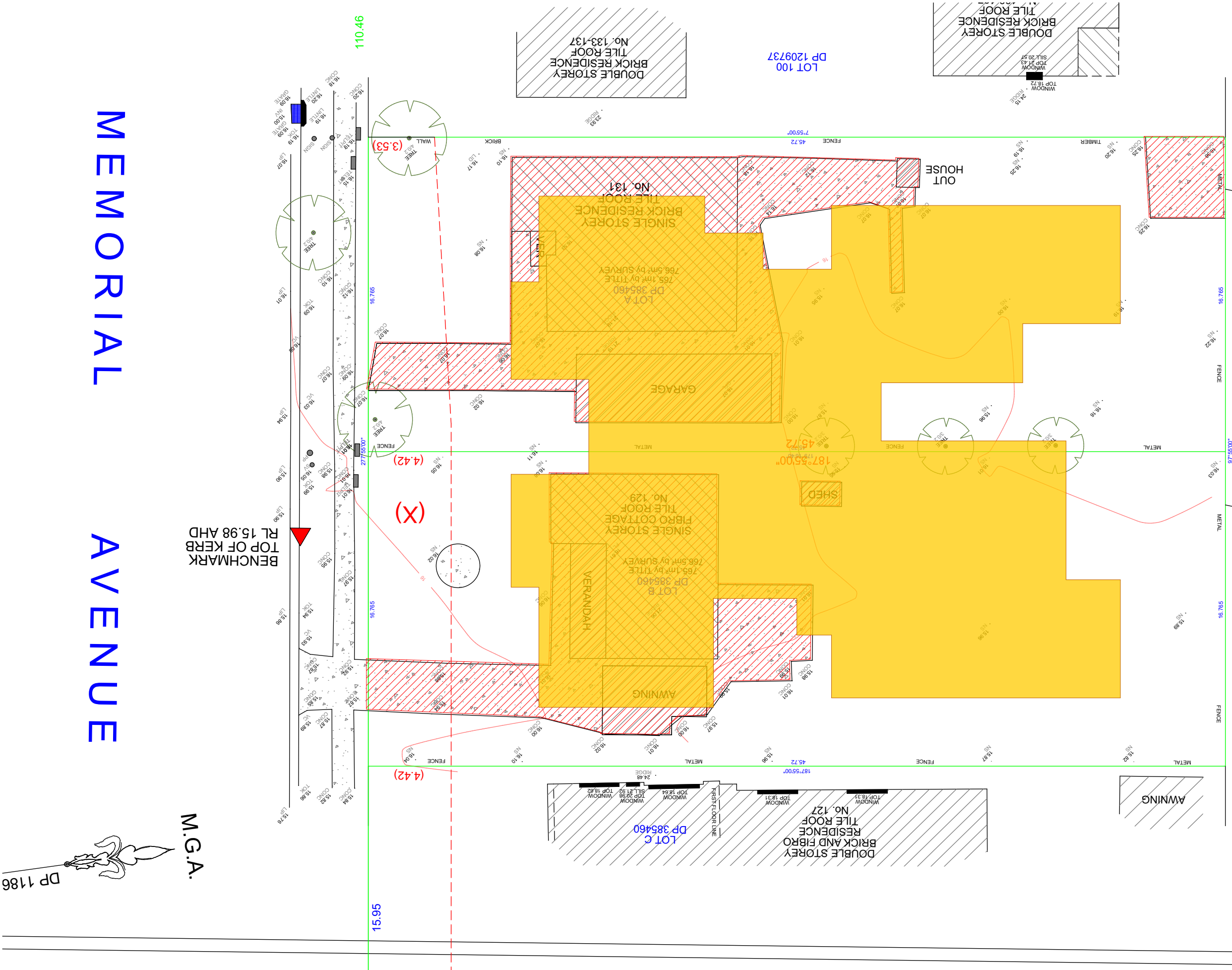
LOCAL COUNCIL AREA: LIVERPOOL		
DETAIL SURVEY OVER LOT A & B IN DP385460		
BEING No. 129-131 MEMORIAL AVENUE LIVERPOOL		
DRAWN: NF	DATE: 27-06-2016	CADREF: 3191MEMORIAL-01-01A
SCALE 1:100	APPROVED: NF	DATUM: A.H.D

PLAN	AMENDMENT	REFERENCE
B	27-06-2016	ADDITION ADJOINING
A	25-05-2016	INITIAL ISSUE
AMEND	DATE	DESCRIPTION

PLAN REFERENCE:
3191MEMORIAL
SHEET 1 OF 1

Notes:
* This plan has been prepared from a combination of field survey and existing records, for the purpose of updating the drawing records of the land and should not be used for any other purpose.
* The title boundaries shown hereon have been determined by plan dimensions only and have not been verified by field measurement.
* Services shown hereon have been located by field survey only where visible.
* Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed location of all services.
* Contours have been interpolated from spot heights taken and are an approximation only.
* This note is an integral part of this plan.

ORIGIN OF LEVELS IS A.H.D. USING COORDINATES G.P.S. NETWORK



LEGEND

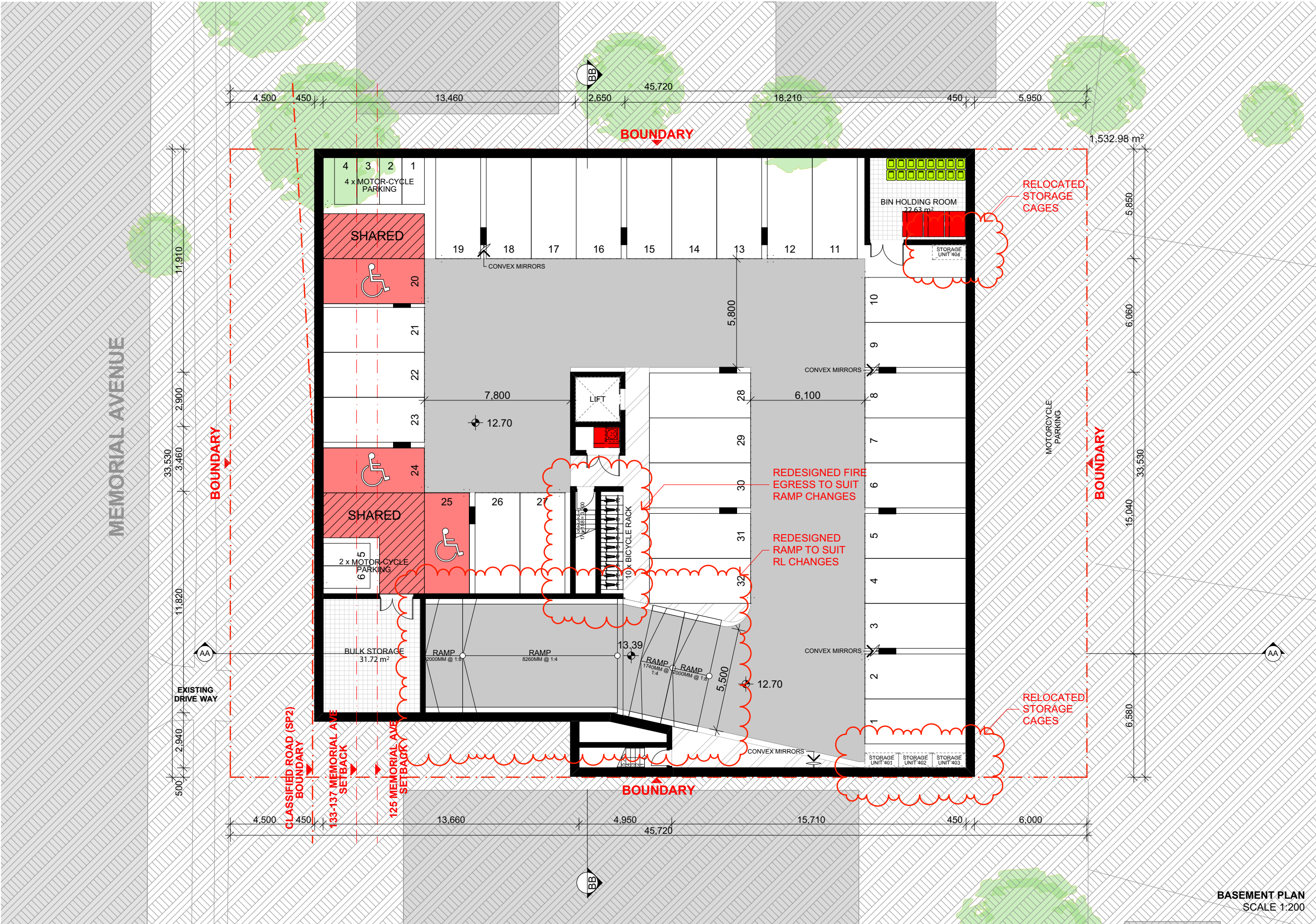
TO BE DEMOLISHED

PROPOSED DEVELOPMENT

DP 1186

M.G.A.

MEMORIAL AVENUE



External Walls:
First 4 levels: Brick Veneer: brick:
Reflective Foil (RFL): R2.0:
plasterboard- medium colour
Top level: Steel cladding: RFL: R2.0:
plasterboard (cladding on battens)
(medium colour)

Internal Walls:
- Within Units: Plasterboard on studs (R1.0 insulation)
- Party Walls: plasterboard: 28mm
insul.: air gap: 75mm AAC: R1.0 Insul.:
plasterboard

Windows:
Aluminium SG Clear: U = 6.70: SHGC =
0.70

Roof:
Concrete slab 150mm - Drained Tile
walking surface - no insulation - Susp.
Ceiling under) (medium colour) - SEE
**TABLE FOR UNITS REQUIRING
INSULATION**

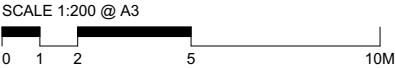
Ceiling:
Plasterboard + no insulation
Floor: Concrete slab (no insul.) - SEE
**TABLE FOR UNITS REQUIRING
INSULATION**

Floor Covering:
Ceramic tiles in wet areas and carpet
elsewhere

Ceiling Penetrations:
Assumed no ceiling penetrations as
there will not be recessed downlights

Exhaust Fans:
Must be sealed

Units	Additional Insulation
G01	R1.0 insulation in floor
G02	R2.0 insulation in floor
G03	R1.0 insulation in floor
G04	R1.5 insulation in floor
G05	R1.0 insulation in floor
104	R1.0 insulation in floor above 'open air'
106	R1.0 insulation in floor
401	R2.0 insulation in roof
402	R2.0 insulation in roof
403	R2.0 insulation in roof
404	R2.0 insulation in roof



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06/07/17

24/08/17

03/09/17

24/01/17

06/12/16

21/10/16

Issue

Date

Description

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LEVEL 2 UNIT 3 14 RAILWAY PARADE

BURWOOD NSW 2134

PROJECT

129-131 MEMORIAL AVE, LIVERPOOL

CLIENT

ISHRAT KATHIA

SCALE

1:200

DRAWN

DL

PROJECT ARCHITECT

JU

PROJECT DIRECTOR

GA

DATE

06/10/2017

DRAWING NAME

BASEMENT PLAN

DRAWING NUMBER

DA

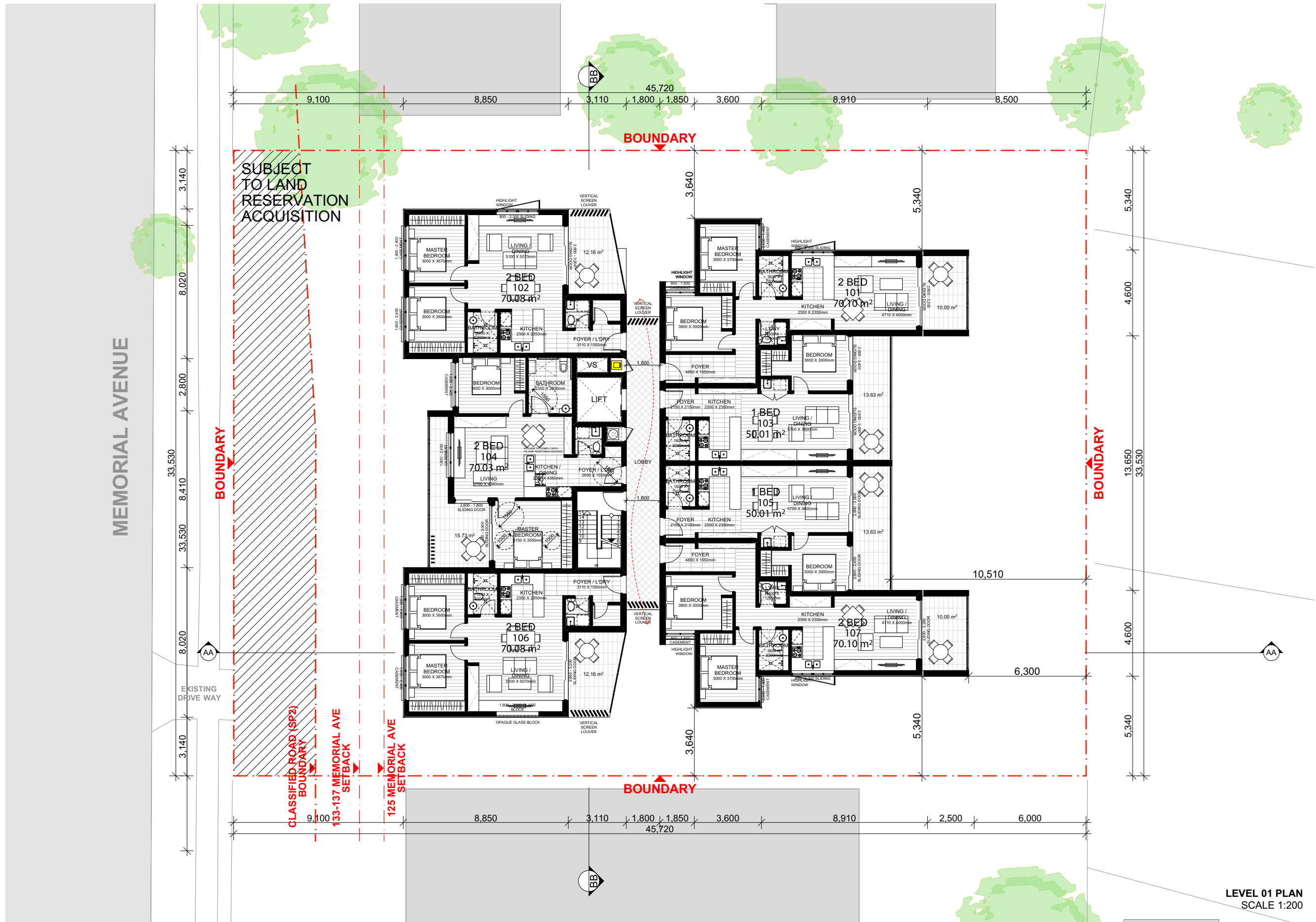
A 1201

PROJECT NUMBER

26.16

ISSUE

G



External Walls:
First 4 levels: Brick Veneer: brick:
Reflective Foil (RFL): R2.0:
plasterboard- medium colour
Top level: Steel cladding: RFL: R2.0:
plasterboard (cladding on battens)
(medium colour)

Internal Walls:
- Within Units: Plasterboard on studs (R1.0 insulation)
- Party Walls: plasterboard: 28mm insul.: air gap: 75mm AAC: R1.0 Insul.: plasterboard

Windows:
Aluminium SG Clear: U = 6.70: SHGC = 0.70

Roof:
Concrete slab 150mm - Drained Tile walking surface - no insulation - Susp. Ceiling under) (medium colour) - SEE TABLE FOR UNITS REQUIRING INSULATION

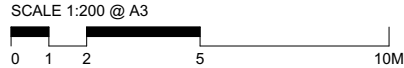
Ceiling:
Plasterboard + no insulation
Floor: Concrete slab (no insul.) - SEE TABLE FOR UNITS REQUIRING INSULATION

Floor Covering:
Ceramic tiles in wet areas and carpet elsewhere

Ceiling Penetrations:
Assumed no ceiling penetrations as there will not be recessed downlights

Exhaust Fans:
Must be sealed

Units	Additional Insulation
G01	R1.0 insulation in floor
G02	R2.0 insulation in floor
G03	R1.0 insulation in floor
G04	R1.5 insulation in floor
G05	R1.0 insulation in floor
104	R1.0 insulation in floor above 'open air'
106	R1.0 insulation in floor
401	R2.0 insulation in roof
402	R2.0 insulation in roof
403	R2.0 insulation in roof
404	R2.0 insulation in roof



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Drawing Original Size A3

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LEVEL 2 UNIT 3 14 RAILWAY PARADE

BURWOOD NSW 2134

PROJECT

129-131 MEMORIAL AVE, LIVERPOOL

CLIENT

ISHRAT KATHIA

SCALE

1:200

DRAWN

DL

PROJECT ARCHITECT

JU

PROJECT DIRECTOR

GA

DATE

06/10/2017

DRAWING NAME

LEVEL 01 PLAN

DRAWING NUMBER

DA

A 1203

PROJECT NUMBER

26.16

ISSUE

1

External Walls:
First 4 levels: Brick Veneer: brick:
Reflective Foil (RFL): R2.0:
plasterboard- medium colour
Top level: Steel cladding: RFL: R2.0:
plasterboard (cladding on battens)
(medium colour)

Internal Walls:
- Within Units: Plasterboard on studs (R1.0 insulation)
- Party Walls: plasterboard: 28mm
insul.: air gap: 75mm AAC: R1.0 Insul.:
plasterboard

Windows:
Aluminium SG Clear: U = 6.70: SHGC =
0.70

Roof:
Concrete slab 150mm - Drained Tile
walking surface - no insulation - Susp.
Ceiling under) (medium colour) - SEE
**TABLE FOR UNITS REQUIRING
INSULATION**

Ceiling:
Plasterboard + no insulation
Floor: Concrete slab (no insul.) - SEE
**TABLE FOR UNITS REQUIRING
INSULATION**

Floor Covering:
Ceramic tiles in wet areas and carpet
elsewhere

Ceiling Penetrations:
Assumed no ceiling penetrations as
there will not be recessed downlights

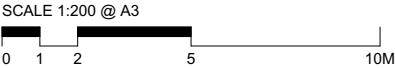
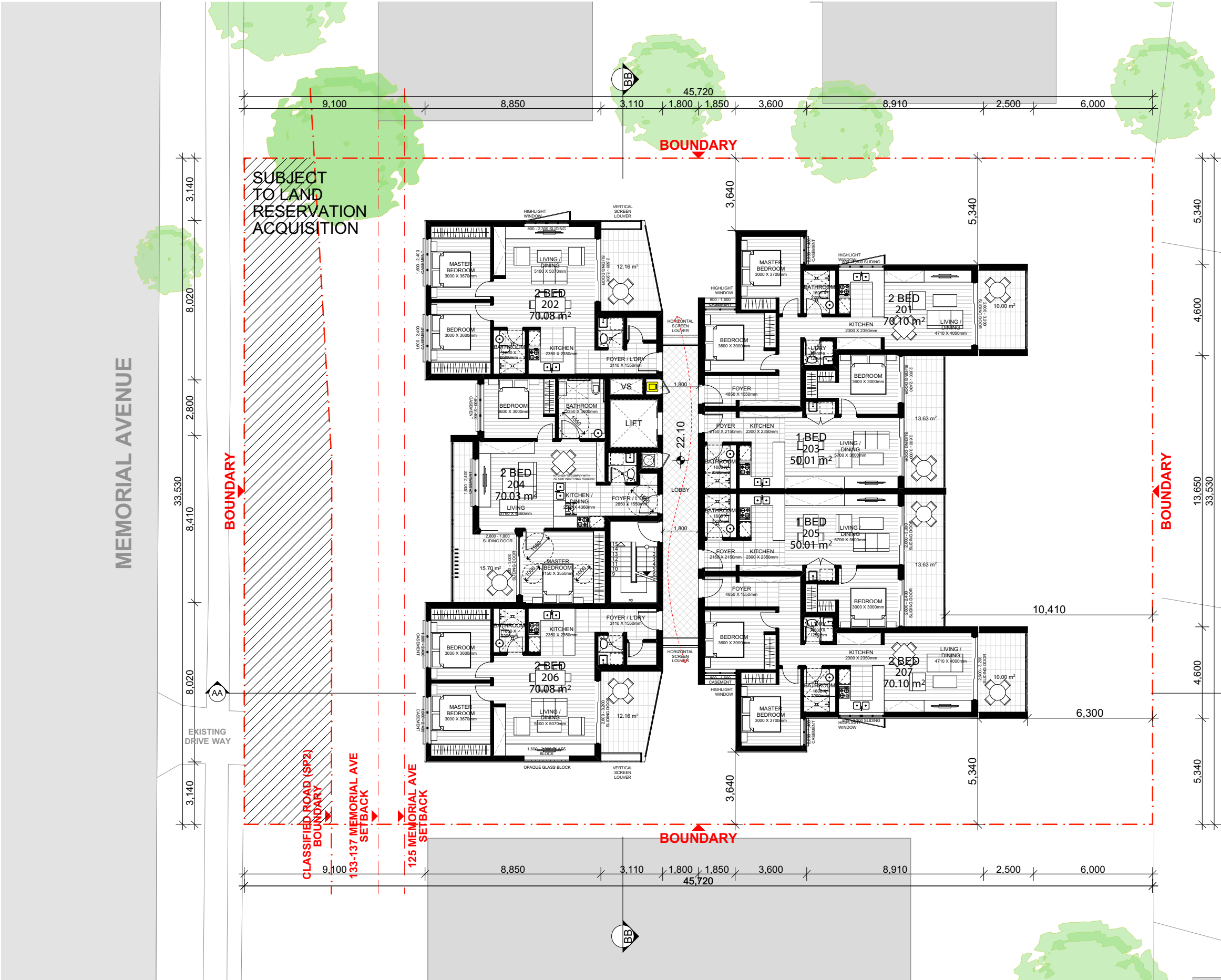
Exhaust Fans:
Must be sealed

Units	Additional Insulation
G01	R1.0 insulation in floor
G02	R2.0 insulation in floor
G03	R1.0 insulation in floor
G04	R1.5 insulation in floor
G05	R1.0 insulation in floor
104	R1.0 insulation in floor above 'open air'
106	R1.0 insulation in floor
401	R2.0 insulation in roof
402	R2.0 insulation in roof
403	R2.0 insulation in roof
404	R2.0 insulation in roof



LEVEL 02 PLAN
SCALE 1:200

BREEZE WAY



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Drawing Original Size

A3

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LEVEL 2 UNIT 3 14 RAILWAY PARADE

BURWOOD NSW 2134

PROJECT

129-131 MEMORIAL AVE, LIVERPOOL

CLIENT

ISHRAT KATHIA

SCALE

1:200

DRAWN

DL

PROJECT ARCHITECT

JU

PROJECT DIRECTOR

GA

DATE

06/10/2017

DRAWING NAME

LEVEL 02 PLAN

DRAWING NUMBER

DA

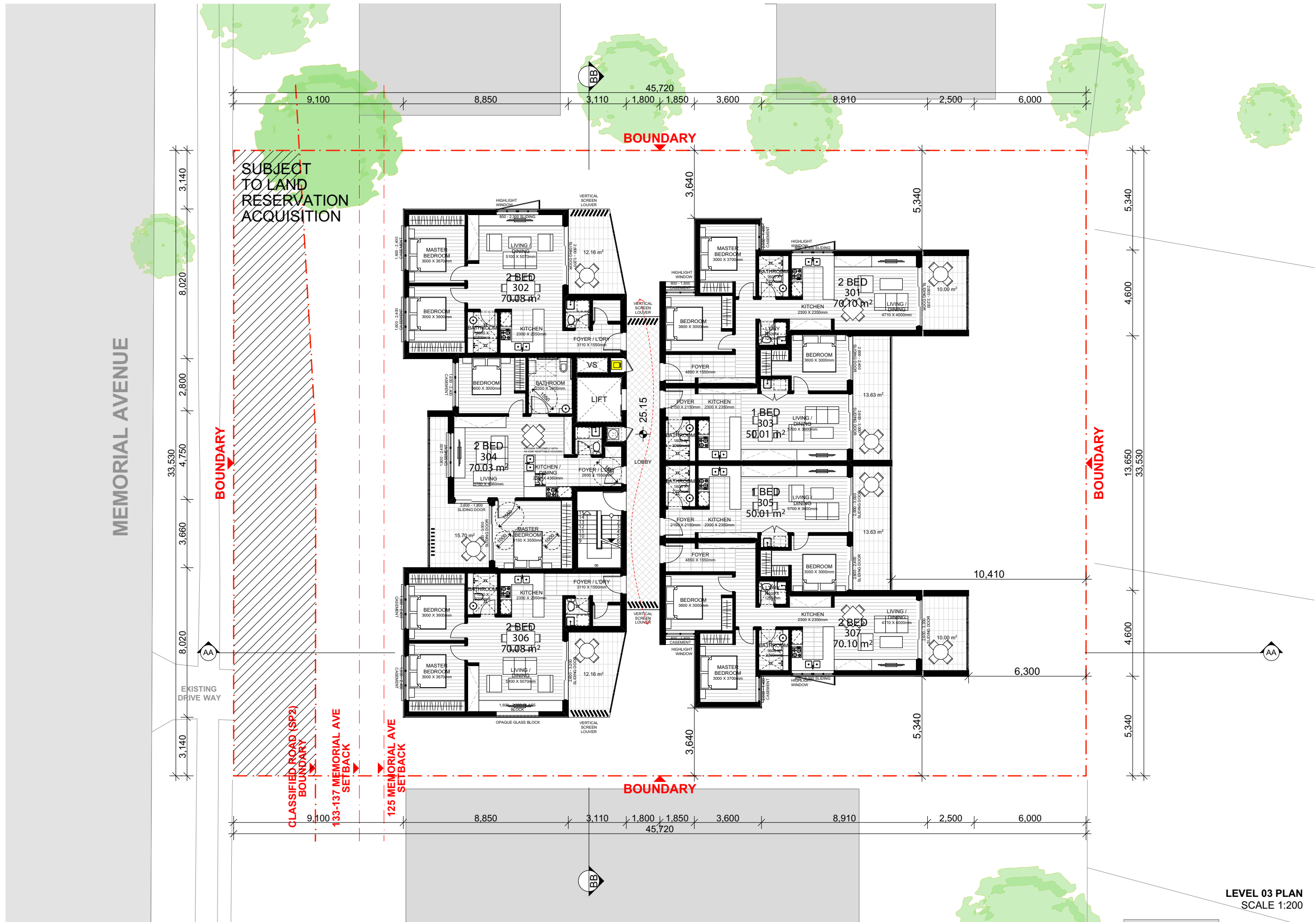
A 1204

PROJECT NUMBER

26.16

ISSUE

1



External Walls:
First 4 levels: Brick Veneer: brick:
Reflective Foil (RFL): R2.0:
plasterboard- medium colour
Top level: Steel cladding: RFL: R2.0:
plasterboard (cladding on battens)
(medium colour)

Internal Walls:
- Within Units: Plasterboard on studs (R1.0 insulation)
- Party Walls: plasterboard: 28mm insul.: air gap: 75mm AAC: R1.0 Insul.: plasterboard

Windows:
Aluminium SG Clear: U = 6.70: SHGC = 0.70

Roof:
Concrete slab 150mm - Drained Tile walking surface - no insulation - Susp. Ceiling under) (medium colour) - SEE TABLE FOR UNITS REQUIRING INSULATION

Ceiling:
Plasterboard + no insulation
Floor: Concrete slab (no insul.) - SEE TABLE FOR UNITS REQUIRING INSULATION

Floor Covering:
Ceramic tiles in wet areas and carpet elsewhere

Ceiling Penetrations:
Assumed no ceiling penetrations as there will not be recessed downlights

Exhaust Fans:
Must be sealed

Units	Additional Insulation
G01	R1.0 insulation in floor
G02	R2.0 insulation in floor
G03	R1.0 insulation in floor
G04	R1.5 insulation in floor
G05	R1.0 insulation in floor
104	R1.0 insulation in floor above 'open air'
106	R1.0 insulation in floor
401	R2.0 insulation in roof
402	R2.0 insulation in roof
403	R2.0 insulation in roof
404	R2.0 insulation in roof



LEVEL 03 PLAN
SCALE 1:200

SCALE 1:200 @ A3
0 1 2 5 10M

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1	2	3	4	5	6	7	8	9	10

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LEVEL 2 UNIT 3 14 RAILWAY PARADE

BURWOOD NSW 2134

PROJECT

129-131 MEMORIAL AVE, LIVERPOOL

CLIENT

ISHRAT KATHIA

SCALE

1:200

DRAWN

DL

PROJECT ARCHITECT

JU

PROJECT DIRECTOR

GA

DATE

06/10/2017

DRAWING NAME

LEVEL 03 PLAN

DRAWING NUMBER

DA

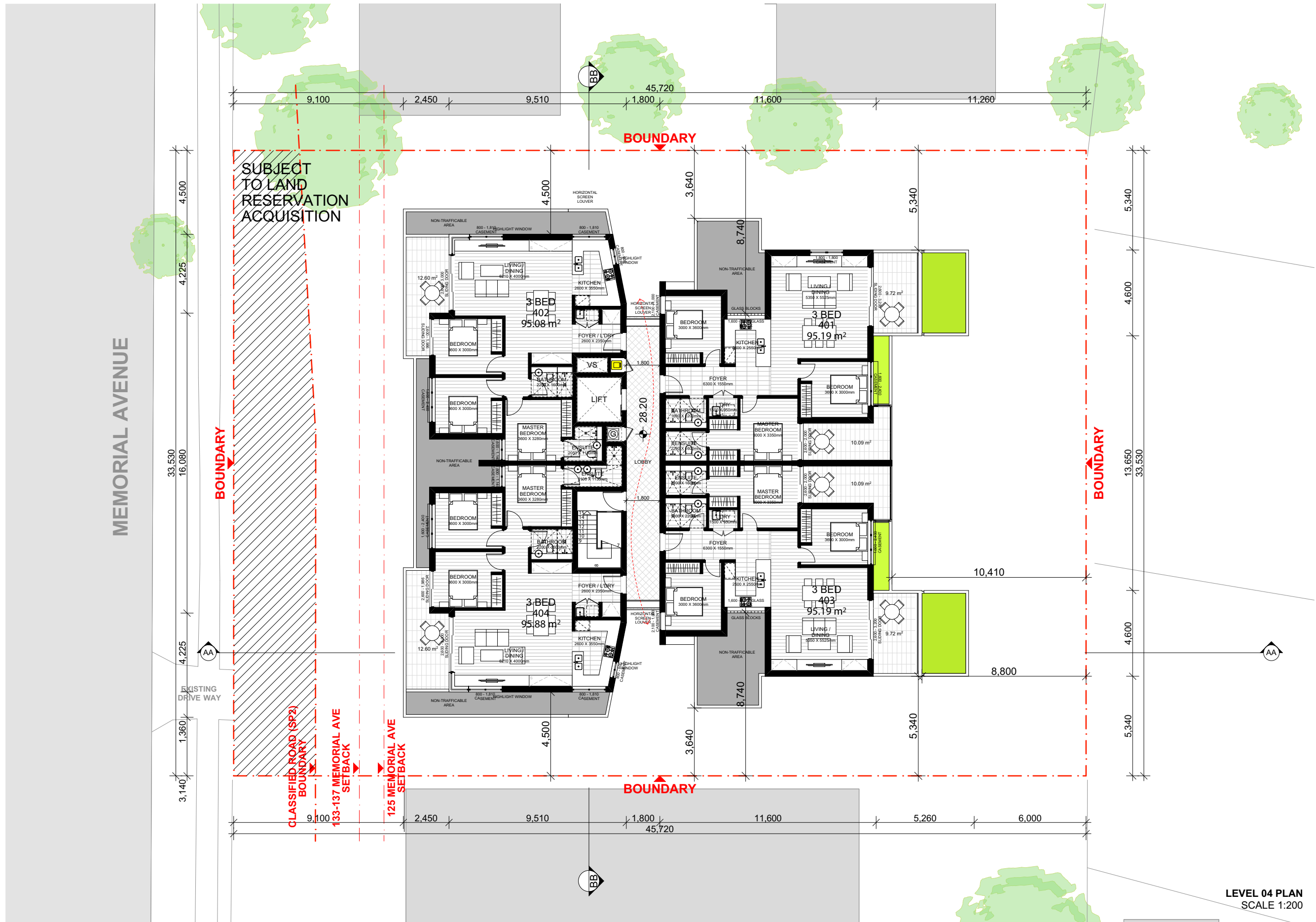
PROJECT NUMBER

26.16

ISSUE

1

A 1205



External Walls:
First 4 levels: Brick Veneer: brick:
Reflective Foil (RFL): R2.0:
plasterboard- medium colour
Top level: Steel cladding: RFL: R2.0:
plasterboard (cladding on battens)
(medium colour)

Internal Walls:
- Within Units: Plasterboard on studs (R1.0 insulation)
- Party Walls: plasterboard: 28mm insul.: air gap: 75mm AAC: R1.0 Insul.: plasterboard

Windows:
Aluminium SG Clear: U = 6.70: SHGC = 0.70

Roof:
Concrete slab 150mm - Drained Tile walking surface - no insulation - Susp. Ceiling under) (medium colour) - SEE **TABLE FOR UNITS REQUIRING INSULATION**

Ceiling:
Plasterboard + no insulation
Floor: Concrete slab (no insul.) - SEE **TABLE FOR UNITS REQUIRING INSULATION**

Floor Covering:
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Ceiling Penetrations:
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Units	Additional Insulation
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G02	R2.0 insulation in floor
G03	R1.0 insulation in floor
G04	R1.5 insulation in floor
G05	R1.0 insulation in floor
104	R1.0 insulation in floor above 'open air'
106	R1.0 insulation in floor
401	R2.0 insulation in roof
402	R2.0 insulation in roof
403	R2.0 insulation in roof
404	R2.0 insulation in roof



LEVEL 04 PLAN
SCALE 1:200

SCALE 1:200 @ A3
0 1 2 5 10m

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ACN: 67167131948

LEVEL 2 UNIT 14 RAILWAY PARADE

BURWOOD NSW 2134

PROJECT

129-131 MEMORIAL AVE, LIVERPOOL

CLIENT

ISHRAT KATHIA

SCALE

1:200

DRAWN

DL

PROJECT ARCHITECT

JU

PROJECT DIRECTOR

GA

DRAWING NAME

LEVEL 04 PLAN

DRAWING NUMBER

DA

PROJECT NUMBER

26.16

ISSUE

1

A 1206